

# Planning Committee



SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL

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Thursday, 3 April 2025 at 1.00 pm  
Council Chamber - Council Offices,  
St. Peter's Hill, Grantham. NG31 6PZ

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**Committee** Councillor Charmaine Morgan (Chairman)  
**Members:** Councillor Penny Milnes (Vice-Chairman)

Councillor David Bellamy, Councillor Harrish Bisnauthsing, Councillor Pam Byrd,  
Councillor Helen Crawford, Councillor Patsy Ellis, Councillor Paul Fellows,  
Councillor Tim Harrison, Councillor Gloria Johnson, Councillor Vanessa Smith,  
Councillor Sarah Trotter and Councillor Paul Wood

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## Agenda

This meeting can be watched as a live stream, or at a later date, [via the SKDC Public-I Channel](#)

- Register of attendance and apologies for absence**
- Disclosure of interests**  
Members are asked to disclose any interests in matters for consideration at the meeting
- Minutes of the meeting held on 6 March 2025** (Pages 3 - 24)

### Planning matters

To consider applications received for the grant of planning permission – reports prepared by the Case Officer.

*The anticipated order of consideration is as shown on the agenda, but this may be subject to change, at the discretion of the Chairman of the Committee.*

4. **Application S24/1842** (Pages 25 - 49)

**Proposal:** Proposed demolition of existing buildings and erection of new 66 bed care home for elderly people

**Location:** The Woodlands, Tarragon Way, Bourne, Lincolnshire

**Recommendation:** To authorise the Assistant Director – Planning to GRANT planning permission, subject to conditions and the completion of a Section 106 legal agreement

5. **Application S24/1681** (Pages 51 - 75)

**Proposal:** Application for the approval of reserved matters relating to access, appearance, landscaping, layout and scale for convenience store (Class E) as part of local centre pursuant to outline planning permission S08/1231

**Location:** Land to the west of Penryhn Way, Poplar Farm, Grantham

**Recommendation:** To authorise the Assistant Director – Planning & Growth to GRANT reserved matters consent, subject to conditions

6. **Application S24/2106** (Pages 77 - 84)

**Proposal:** Installation of Air Source Heat Pumps and evaporator decks and erection of timber fencing enclosure to rear of the main leisure centre building

**Location:** Grantham Meres Leisure Centre, Trent Road, Grantham, NG31 7XQ

**Recommendation:** To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to conditions

7. **Any other business, which the Chairman, by reason of special circumstances, decides is urgent**

## Meeting of the Planning Committee

Thursday, 6 March 2025, 1.00 pm



SOUTH  
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COUNCIL

Committee Members present	Other Members present
Councillor Charmaine Morgan (Chairman)	Councillor Zoe Lane
Councillor Penny Milnes (Vice-Chairman)	<b>Cabinet Members present</b>
Councillor David Bellamy	
Councillor Harrish Bisnauthsing	Councillor Phil Dilks
Councillor Pam Byrd	
Councillor Helen Crawford	<b>Officers</b>
Councillor Patsy Ellis	Emma Whittaker, Assistant Director of Planning & Growth
Councillor Tim Harrison	Phil Jordan, Development Management & Enforcement Manager
Councillor Gloria Johnson	Venezia Ross-Gilmore, Senior Planning Officer
Councillor Vanessa Smith	
Councillor Sarah Trotter	
Councillor Paul Wood	
Councillor Phil Dilks	Joshua Mann, Democratic Services Officer

### 118. Register of attendance and apologies for absence

Apologies for absence were received from Councillor Paul Fellows.

### 119. Disclosure of interests

Councillor Charmaine Morgan and Councillor Tim Harrison declared an interest in application S25/0069 as members of Grantham Town Council. However, Councillor Morgan and Councillor Harrison confirmed they were approaching the application with an open mind.

Councillor Helen Crawford declared an interest in application S24/2100 as the Chairman of Bourne Town Council. However, Councillor Crawford confirmed they were approaching the application with an open mind.

### 120. Minutes of the meeting held on 23 January 2025

The minutes of the meeting held on 23 January 2025 were proposed, seconded, and AGREED as an accurate record.

## 121. Minutes of the meeting held on 6 February 2025

The minutes of the meeting held on 6 February 2025 were proposed, seconded, and AGREED as an accurate record.

## 122. Application S24/2100

**Proposal:** Installation of solar farm, comprising ground mounted solar photovoltaic panels, including mounting systems, inverters and transformers stock proof fencing, CCTV internal access tracks and associated infrastructure and landscaping for a temporary period of 40 years.

**Location:** Home Farm, Dyke Drove, Bourne

**Recommendation:** To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to conditions.

Noting comments in the public speaking session by:

District Ward Councillor	-	Councillor Zoe Lane
Lincolnshire Country Councillor	-	Councillor Sue Woolley ( <i>Written statement</i> )
For Applicant	-	Mr William Ash, Landowner Mr Stuart Hammond

Together with -

- Provisions within the South Kesteven (SK) Local Plan 2011-36, design guidelines for Rutland and SK Supplementary Planning Document, National Planning Policy Framework (NPPF), National Policy Statements for Energy and Renewable Energy.
- No objections received from Bourne Town Council.
- No objections received from the Defence Infrastructure Organisation.
- No objections were received from the Environment Agency subject to conditions.
- No objections were received from the Heritage Lincolnshire subject to conditions.
- No objections received from Lincolnshire County Councils (Highways and SuDS)
- No objections received from Lincolnshire Fire and Rescue.
- No objections received from Natural England.
- No objections received from SKDC Conservation Officer.
- No comments received from Morton Parish Council.

- No comments received from Civil Aviation Authority.
- No comments received from SKDC Environmental Protection.
- No comments received from Lincolnshire Wildlife Trust.

During questions to Public Speakers, Members commented on:

- Confirmation was given by the landowner that the land identified suffered from black grass, compromising its ability for effective food production. Although the landowner was committed to the growth of crops such as milling wheat, barley, oats and peas elsewhere on the farm. The applicant confirmed the presence of black grass was a key reason for choosing the site amongst several that they had considered within the area.
- Confirmation was also given that the landowner felt the necessity to diversify given the current financial pressure faced by farmers.
- Members queried the intentions of the landowner after the temporary 40-year period requested by the planning application. It was confirmed that this period would allow a period of respite for the land, breaking the cycle of the black grass. Subsequently, it was possible that the land could return to food production use.
- It was confirmed that whilst the site was known to some areas of surface water flooding, it did not regularly flood.
- Regarding biodiversity, the landowner confirmed their intention to plant wildflowers and the planning application had accounted for buffer zones to allow deer runs.
- The applicant also noted their intention of financial support for Dyke Village Hall to demonstrate their long-term commitment to the area. The Assistant Director of Planning and Growth noted that this was not a material consideration of Members within the merits of whether to grant planning permission.

Councillor Helen Crawford declared an interest as being on Dyke Village Hall Committee. However, Councillor Crawford remained open minded.

- It was queried where the solar panels had been sourced from. It was confirmed that the solar panels were yet to be sourced but initial efforts would be made to source locally. The Assistant Director of Planning and Growth reiterated that Members should consider the application on its planning merits and the sourcing of the solar panels were the applicants prerogative. It was confirmed that installation of the solar panels would likely be contracted.
- It was noted that the application had previously been amended to account for Skylarks in the area following a consultation.
- It was queried what lessons the applicant had learnt from their experience of managing similar sites nationwide. The applicant noted that the area of each site had to be respected for its individual ecological merits.

- Attention was drawn to the indicative transport management plan, outlining that no HGVs would be directed through Dyke village.

During question to Officers and debate, Members commented on:

- Members noted their support for the local farming industry.
- Some Members praised the efforts of the landowner to diversify their business and thanked the individual for their attendance. Praise was also given for the landowner and applicant's efforts to listen and engage with consultations which had resulted in amendments to the initial plans.
- Others Member noted their discomfort with the timeframe being a 40-year temporary period and who was liable for the site should the applicant's firm withdraw, or the site be decommissioned. It was confirmed that the landowner was legally responsible for adhering to the planning permission.

In summing up it was commented that the solar farm was relatively small scale. It represented a low percentage of land being used for agricultural purposes. Whilst high grade land was being used, the application would support the long term viability of the family farm thereby protecting the remaining land use for food production.

It was noted that the applicant was providing a significant increase in the provision of hedging, over 800% which was to be commended.

**Following discussions, it was proposed, seconded, and AGREED to authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to conditions, and incorporating the following amendments:**

- **Condition Four be amended to reflect that the exported output to the National Grid of the solar farm hereby approved must not exceed 28 MW AC,**
- **Section 2.3 of the report be amended to reflect that the fences were to be 2 meters in height.**

#### Time Limit for Commencement

1) The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: In order that the development is commenced in a timely manner, as set out in Section 91 of the Town and Country Planning Act 1990 (as amended).

#### Temporary Permission Limits

2) Written confirmation of the first export date shall be provided to the Local Planning Authority

no later than 20 days following the event. The development hereby permitted shall cease on or before the expiry of a 40 year period from the date of the first export of electricity from the solar farm to the electricity grid network; excluding electricity exported during initial testing and commissioning.

The land shall thereafter be restored to its former condition in accordance with a scheme of decommissioning work (“Decommissioning Scheme”) which shall make provision for the removal of the solar panels and all other associated equipment, and the subsequent restoration of the site.

The scheme shall include details of:

- (a) The extent of equipment and foundation removal, and the site restoration to be carried out;
- (b) The management and timing of any works;
- (c) A Traffic Management Plan to address the likely traffic impacts arising during the decommissioning period.
- (d) An Environmental Management Plan to include details of measures to be taken during the decommissioning period to protect wildlife, habitat features and trees on the site.
- (e) The location of any temporary compound and parking areas.
- (f) Full details of the removal of the solar arrays, associated buildings and plant, any access tracks and sub-surface cabling and all associated ground restoration, including trench backfilling.
- (g) Full details of all other works to the land to allow for renewed agricultural production following the removal of structures from the site.
- (h) A programme of implementation.

The Decommissioning Scheme shall be submitted to and approved in writing by the Local Planning Authority, no later than 39 years from the date of the first export of electricity and shall be subsequently implemented as approved.

Reason: The proposed development has a 40 year operational period, and to ensure that the site is fully restored to allow for agricultural use, and to maintain the rural landscape character of the area.

## **Approved Plans**

3) The development hereby permitted shall be carried out in accordance with the following list of approved plans:

- (a) Proposed Site Layout Plan (Ref: INT1002-110 Rev12)
- (b) Compound Area Contextual Elevation Plan (Ref: INT1002-240 Rev06)
- (c) Compound Area (Ref: INT1002-140 Rev0)
- (d) Solar Array Elevation (Ref: INT1002-200 Rev01)
- (e) Project Control Room (Ref: INT1002-221 Rev03)
- (f) Spare Part Container Details (Ref: INT1002-222 Rev01)
- (g) Solar Transformer (Ref: INT1002-223 Rev04)
- (h) Access Track Section Details (Ref: INT1002-230 Rev01)
- (i) Fence & Gates Details (Ref: INT1002-231 Rev02)
- (j) CCTV Pole Mounting Details (Ref: INT1002-232 Rev0)
- (k) Auxiliary Transformer (Ref: INT1002-256 Rev03)

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

#### Power Output

- 4) The exported output of the solar farm hereby approved must not exceed 28 MW.

Reason: To define the permission and ensure that the output of the proposal remains below the limitations allowed under the Town and Country Planning Act.

#### **Before the Development is Commenced**

##### *Heritage / Archaeology*

##### Archaeological Mitigation Plan

- 5) Before the development hereby permitted is commenced, an Archaeological Mitigation Strategy shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall include:
  - a. A Written Scheme of Investigation for further archaeological evaluation of the site
  - b. A plan illustrating the location of archaeological remains on the site;
  - c. Areas which are designated for archaeological monitoring and recording;
  - d. Proposals to ensure that significant archaeological remains are protected or, if appropriate, set out a programme of further archaeological works to ensure that they are recorded in advance of works on site;
  - e. A programme for the implementation of the archaeological mitigation strategy.

Thereafter, all works on site shall be carried out in accordance with the approved Archaeological Mitigation Strategy.

Reason: In order to provide a reasonable opportunity to record the history of the site and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

#### Materials Details

6) Before any part of the development hereby permitted is commenced, a specification of the materials to be used in the construction of external surfaces of the development shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 and EN1 of the adopted South Kesteven Local Plan; and to ensure that the development does not result in any harm to nearby heritage assets as required by Policy EN6 of the adopted Local Plan.

#### *Biodiversity / Ecology*

#### Construction Environmental Management Plan

7) Before any part of the development hereby permitted is commenced, a detailed Construction Environmental Management Plan shall be submitted to and approved in writing by the Local Planning Authority. The submitted CEMP shall be based on the submitted Indicative Construction Traffic Management Plan (Andrew Moseley Associates) (November 2024) and shall include measures to mitigate against the adverse effects of vehicular movements and noise and means to manage the drainage and ecological impacts of the construction stages of the development. The detailed CEMP shall include:

- a. Details of access construction to ensure that the proposed development can be accessed by emergency vehicles and construction vehicles.
- b. Construction hours
- c. The routing and management of all construction vehicles to avoid conflicts on Dyke Drove
- d. The parking of all vehicles and site operatives
- e. The loading and unloading of all plant and materials
- f. The storage of all plant and materials used in constructing the development
- g. Wheel washing facilities
- h. Ecological Management Plan, including appointment of an Ecological Clerk of Works, and the implementation of Natural England licences as required.

- i. Relevant details of the archaeological mitigation strategy for the protection of retained features during the construction period.

The approved CEMP shall be strictly adhered to throughout the construction period.

Reason: To minimise the effects of the construction stage of the development on the highway, and ecological and archaeological assets.

## **During Building Works**

### *Flood Risk and Drainage*

#### Flood Mitigation Scheme

8) The development of the essential infrastructure on site, namely the Project Control Room, Solar Transformer and Auxiliary Transformer, shall not commence until a detailed flood mitigation scheme to ensure that the development shall remain operational during a fluvial flood breach event with a 1 in 1000 (0.1%) chance of occurring in any year during its lifetime, has been submitted to and approved in writing by the Local Planning Authority.

The mitigation scheme shall be implemented as approved and subsequently shall be retained and maintained thereafter for the lifetime of the development.

Reason: To ensure that the development remains operational at times of flooding in accordance with Policy EN5 of the adopted South Kesteven Local Plan, Section 14 of the National Planning Policy Framework and Paragraph 079 of the Planning Practice Guidance.

### *Biodiversity / Ecology*

#### Ecological Mitigation

9) All works on site during the construction period shall be carried out in accordance with the recommendations contained within Section 6 of the Ecological Impact Assessment (MKA Ecology) (November 2024), including reasonable avoidance measures for protected species and the provision and retention of skylark mitigation plots, as detailed in the accompanying appendices.

Reason: In the interests of best ecological practice and in accordance with Policy EN2 (Protecting Biodiversity and Geodiversity) of the adopted South Kesteven Local Plan.

## **Before the Development is Operational**

### *Landscape and Visual Impact*

## Landscape and Ecological Management Plan

10) Before the solar development hereby permitted is operational, a Landscape and Ecological Management Plan (LEMP) shall have been submitted to and approved in writing by the Local Planning Authority and shall include details of the management and monitoring of the site during the operational period.

Reason: To protect and enhance the existing landscape features on the site, and to mitigate the harm to the landscape and visual characteristics of the area as a result of the development; and in accordance with Policy EN1 (Landscape Character), EN2 (Protecting Biodiversity and Geodiversity) and DE1 (Promoting Good Quality Design) of the adopted South Kesteven Local Plan.

## Landscaping Implementation

11) Before the end of the first planting / seeding season following the date when electrical power is first exported ("first export date"), all landscaping works shown on the approved Landscaping Strategy (Huskisson Brown) (Ref: HBA-942-001 (Rev L)) shall have been carried out in full, unless otherwise required by another condition of this permission.

Reason: To mitigate the harm to the rural character caused by the proposal and to secure a biodiversity net gain and in accordance with Policy EN1 (Landscape Character) and Policy EN2 (Protecting Biodiversity and Geodiversity) of the adopted South Kesteven Local Plan.

## External Material Implementation

12) Before the development is operational, the external appearance of all built form on the site shall have been completed in accordance with the details approved by Condition 6 above. Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 (Promoting Good Quality Design) of the adopted South Kesteven Local Plan.

## *Access / Highways*

## Operational Environmental Management Plan

13) Before the date of the first export of electricity from the development hereby permitted, an Operational Environmental Management Plan (OEMP) relating to any maintenance or repair works of the approved development shall be submitted to, and approved in writing by the Local Planning Authority.

Reason: To ensure that the solar farm continues to generate electricity; and to mitigate the impacts of any further construction works required for the repair or

replacement solar arrays; in accordance with Policy RE1 (Renewable Energy Generation) of the adopted South Kesteven Local Plan.

### *Flood Risk and Drainage*

#### Flood Warning and Evacuation Compliance

14) Before the date of the first export of electricity from the development hereby permitted, the Flood Evacuation and Emergency Plan (Andrew Moseley Associates) (November 2024) submitted as part of the application, shall be implemented and shall be retained for the lifetime of the development.

Reason: To ensure that the safety of all users during the lifetime of the development, as required by the Exception Test for flooding detailed in Policy EN5 of the adopted Local Plan and Section 14 of the National Planning Policy Framework.

### **Ongoing**

#### *Landscape and Visual Impact*

#### Lighting Details

15) No permanent illumination of the site shall be permitted unless otherwise agreed in writing by the Local Planning Authority. In such circumstances, prior to the erection of any external lighting on site, a lighting plan shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved details and thereafter retained for the lifetime of the development.

Reason: To protect the rural character of the site and in accordance with Policy EN1 (Landscape Character) of the adopted South Kesteven Local Plan.

#### Compliance with LEMP

16) The approved development must be carried out in accordance with the approved Landscape and Ecological Management Plan.

Reason: To protect and enhance the existing landscape features, and to mitigate the harm to the landscape and visual characteristics of the area as a result of the development; and in accordance with Policy EN1 and DE1 of the adopted Local Plan.

#### Landscape Protection

17) Within a period of five years from the first export date, any trees or plants provided as part of

the approved Landscaping Plan that die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced in the first planting season following any such loss with a specimen of the same size and species, unless otherwise agreed by the Local Planning Authority.

Reason: To mitigate the harm to the rural character caused by the proposal and to secure a biodiversity net gain and in accordance with Policy EN1 (Landscape Character) of the adopted Local Plan.

#### Early Decommissioning

18) In the event that the site ceases to generate electricity for a period of 12 months prior to the cessation of the 40 year period, a scheme of Decommissioning Works ("Early Decommissioning Scheme") shall be submitted no later than 6 months from the end of the 12 month non-electricity generating period to the Local Planning Authority for approval in writing. The early decommissioning scheme shall include the same details required under the Decommissioning Scheme set out in Condition 2 of this permission. Thereafter, the early decommissioning scheme shall be carried out in accordance with the approved details.

Reason: To ensure that the solar farm continues to generate electricity or is otherwise removed to the benefit of the character and appearance, and agricultural productivity of the District; in accordance with Policy EN1 and RE1 of the adopted South Kesteven Local Plan.

### **123. Application S24//2037**

The Committee adjourned for a break at 14.35 and resumed at 14.58.

Councillor Vanessa Smith entered the Committee upon resumption.

**Proposal:** Section 73 application for the variation of condition 2 (approved plans) of planning permission S22/2308 (Erection of 21 affordable dwellings with associated access, landscaping, parking and cycle storage provision).

**Location:** Land to the rear of Larch Close and Shaw Road, Grantham.

**Recommendation:** To authorise the Assistant Director – Planning to GRANT planning permission, subject to conditions.

There were no public speakers.

Together with:

- Provisions within the South Kesteven (SK) Local Plan 2011-36, design guidelines for Rutland and SK Supplementary Planning Document, National Planning Policy Framework (NPPF), National Policy Statements for Energy and Renewable Energy.
- No objections were received from Grantham Town Council.
- No objections were received from SKDC Conservation Officer.
- No objections were received from National Highways.
- No objections were received from Lincolnshire County Council (Highways and SuDS).
- No further comments were made by SKDC Environmental Protection.
- No comments were received from Lincolnshire County Council (Education).
- No comments were received from Anglian Water.
- Historic England did not need to be notified or consulted on the application.
- There were no national gas assets affected in the area according to National Grid.
- Heritage Lincolnshire commented that any variation/removal of conditions attached to S22/2308 should be subject to the provisions of condition 3 requiring a scheme of archaeological works.

During question to Officers and debate, Members commented on:

- Confirmation was given that the application sought to replace the four-bedroom houses originally proposed with a two-bedroom semi-detached bungalow and a three-bedroom semi-detached bungalow.

**Following discussions, it was proposed, seconded, and AGREED to authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to conditions.**

### **Time Limit for Commencement**

1) The development hereby permitted shall be commenced before the expiration of three years from the date of the S22/2308 planning permission.

Reason: In order that the development is commenced in a timely manner, as set out in Section 91 of the Town and Country Planning Act 1990 (as amended).

### **Approved Plans**

2) The development hereby permitted shall be carried out in accordance with the following list of approved plans:

- i. Site Location Plan, drawing ref. 001-(PL)-8635 (received 22/11/22)
- ii. Proposed Site Plan, drawing ref. 2860/P 101 C (received 26/11/24)
- iii. Bungalow Plots 1 & 2, drawing ref. 2860/P 200 B (received 26/11/24)
- iv. House Plots 3-8, drawing ref. 2860/P 201 A (received 26/11/24)
- v. Apartments Plots 9-12, drawing ref. 2860/P 202 A (received 26/11/24)
- vi. Apartments Plots 13-21, drawing ref. 2860/P 203 A (received 26/11/24)

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

### **Before the Development is Commenced**

#### Archaeological Investigation

3) Before the development hereby permitted is commenced, a written scheme of archaeological investigation shall have been submitted to and approved in writing by the Local Planning Authority.

Thereafter, the archaeological investigations shall be completed in accordance with the approved details.

Reason: In order to provide a reasonable opportunity to record the history of the site and in accordance with Policy EN6 of the adopted South Kesteven Local Plan.

#### Construction Management Plan

4) No development, including demolition of buildings hereby approved, shall take place until a Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. The Plan and Statement shall include measures to mitigate the adverse impacts during the construction stages of the permitted development and shall include:

- a. The phasing of the development, including access construction
- b. The on-site parking of all vehicles of site operatives and visitors
- c. The on-site loading and unloading of all plant and materials.
- d. The on-site storage of all plant and materials used in constructing the development.
- e. Dust suppression measures
- f. Wheel washing facilities
- g. A strategy stating how surface water runoff on and from the development will be managed

during construction, and protection measures for any sustainable drainage features. This should include drawing(s) showing how the drainage systems (temporary or permanent) connect to an outfall (temporary or permanent) during all construction works.

The Construction Management Plan and Method Statement shall be strictly adhered to throughout the construction period.

Reason: In the interests of the residential amenity of the neighbouring properties.

#### Noise Impact Assessment Update

5) Before the development hereby permitted is commenced, a comprehensive noise assessment to determine the level of noise both internally and externally, shall have been completed in accordance with a scheme to be agreed in writing by the Local Planning Authority.

The written report(s) shall identify and consider the potential impacts on all identified receptors. All investigations must be carried out in accordance with the current best practice, and the written reports shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In the interests of the residential amenity of future occupiers of the development.

#### Drainage Strategy

6) Before the development hereby permitted is commenced, a scheme for the treatment of surface water drainage shall have been submitted to and approved in writing by the Local Planning Authority. The scheme shall be based on the submitted Proposed Drainage Strategy (Ref: B24598-JNP-92-XX-DR-C-2002-P01) and the details must:

- a. Be based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development.
- b. Provide flood exceedance routing for storm events greater than the 1 in 100 year event.
- c. Provide details of how run-off will be safely conveyed and attenuated during storms up to and including the 1 in 100 year critical storm event, with an allowance for climate change, from all hard surfaced areas within the development into the existing local drainage infrastructure and watercourse system without exceeding the runoff rate for the undeveloped site.
- d. Provide attenuation details and discharge rates which shall be restricted to 2 litres per second.
- e. Provide details of the timetable for and any phasing of implementation for the drainage

scheme; and

f. Provide details of how the scheme shall be maintained and managed over the lifetime of the development, including any arrangements for adoption by any public body or Statutory Undertaker and any other arrangements required to secure the operation of the drainage system throughout its lifetime.

Thereafter, no dwelling shall be occupied until the approved scheme has been completed or provided on site in accordance with the approved phasing. The approved scheme shall be retained and maintained in full, in accordance with the approved details.

Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, or upstream of, the permitted development.

#### Ground Conditions

7) No works pursuant to this permission shall commence, unless otherwise agreed in writing by the Local Planning Authority, until there have been submitted to and approved in writing:

a. A detailed scheme for remedial works and measures to be undertaken to avoid risks from contaminants and / or gases when the site is developed and proposals for future maintenance and monitoring. Such a scheme shall include the nomination of a competent person to oversee the implementation of the works.

Reason: Previous activities associated with this site may have caused, or had the potential to cause, land contamination and to ensure that the proposed site is suitable for the intended end users; and in accordance with Local Plan Policy EN4 (Pollution Control) and national guidance contained in the NPPF.

#### **During Building Works**

##### Remediation Scheme

8) If the Noise Assessment, required under Condition 5 above, determines that remediation is required, before any development above foundation level, a remediation strategy shall be submitted to and approved in writing by the Local Planning Authority.

Thereafter, the development shall be carried out in accordance with the approved noise remediation scheme, including in accordance with any approved phasing scheme.

Reason: In the interests of the residential amenity of future occupiers of the development.

### Sustainable Building

9) No development above damp-proof course shall take place until details demonstrating how the proposed dwellings would comply with the requirements of Local Plan Policy SB1 have been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of how carbon dioxide emissions would be minimised through the design and construction of the development, details of water efficiency; and the provision of electric car charging infrastructure.

The approved sustainable building measures shall be completed in full for each dwelling / unit, in accordance with the agreed scheme, prior to the first occupation of each dwelling / unit hereby permitted.

Reason: To ensure that the development mitigates against, and adapts to, climate change in accordance with Policy SB1 of the South Kesteven Local Plan.

### Construction Hours

10) Construction work on site shall only be carried out between the hours of 0730 and 1800 Monday to Friday, and 0900 to 1300 on Saturdays. Construction work shall not be carried out on Sundays or Public Holidays; unless otherwise agreed in writing by the Local Planning Authority.

The term “construction work” shall include all mobile and fixed plant and machinery, radios and the delivery of materials.

Reason: To minimise noise impacts on the adjacent residential dwellings.

### Ecological Mitigation

11) All works on site, including construction works, shall be carried out in accordance with the recommendations contained within the Preliminary Ecology Report (Andrew Chick) (Dated June 2021), including the installation of bat and bird roosting boxes, provided as part of the submission for S22/2308.

The scheme of bat roosting boxes are to be installed on site prior to first occupation of the development hereby permitted, and shall be retained for the lifetime of the development.

Reason: In the interests of best ecological practice and in accordance with Policy EN2 of the adopted South Kesteven Local Plan 2011-2036.

### Previously Unidentified Contamination

12) Should the developer, during excavation and construction works of the approved development site, find any area where it is suspected that the land is contaminated, then all works must stop and the Local Planning Authority notified immediately. An investigation and risk assessment must be undertaken and, where remediation is necessary, a remediation scheme must be prepared in accordance with current good practice and legislation, and submitted to and approved in writing by the Local Planning Authority. Thereafter, the approved remediation scheme shall be implemented in accordance with the approved details.

Following the completion of measures identified in the approved remediation scheme, a verification report must be prepared, which is subject to the approval in writing by the Local Planning Authority prior to the first occupation of the dwellings hereby permitted.

Reason: Previous activities associated with the site may have caused, or had the potential to cause, land contamination and to ensure that any site investigation and remediation will not cause pollution, in the interests of the amenities of future residents and users of the development; and in accordance with Local Plan Policy EN4 (Pollution Control).

### **Before the Development is Occupied**

#### Noise Validation Testing

13) Before any dwelling hereby permitted is occupied, a verification report that scientifically and technically demonstrates the effectiveness of the noise remediation scheme, as required, shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To protect the residential amenity of future occupiers of the development.

#### Shaw Road Pedestrian Crossing

14) No part of the development hereby permitted shall be occupied before the works to improve the public highway (by means of an uncontrolled pedestrian crossing connecting people from Shaw Road over Trent Road) has been certified complete by the Local Planning Authority.

Reason: To ensure safe means of connectivity to the permitted development.

#### Estate Road Surface Levels

15) Before any dwelling hereby permitted is occupied, all of that part of the estate road and associated footways that form the junction with Shaw Road, and which will be constructed within the limits of the existing highway, shall be laid out and constructed to finished surface levels in accordance with details

that shall first be submitted to, and approved in writing by the Local Planning Authority.

Reason: In the interests of safety, to avoid the creation of pedestrian trip hazards within the public highway from surfacing materials, manholes and gullies that may otherwise remain for an extended period of time at dissimilar, interim construction levels.

#### Materials Implementation

16) Before the dwellings hereby permitted are first occupied, the external materials must have been completed in accordance with the approved external materials details.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

#### Hard Landscaping Implementation

17) Before any part of the development hereby permitted is occupied, all hard landscaping works shall have been completed in accordance with the approved details.

Reason: Hard landscaping makes an important contribution to development and its assimilation with its surroundings, and in accordance with Policy DE1 and EN6 of the adopted South Kesteven Local Plan.

#### Contamination Verification

18) The development hereby permitted shall not be occupied or brought into use until a verification report has been submitted to and approved in writing by the Local Planning Authority. The report shall have been submitted by the agreed competent person and identify that the approved remedial works have been implemented. The report shall include, unless otherwise agreed in writing:

- a. A complete record of remediation activities, and data collected, as identified in the remediation scheme to support compliance with the agreed remediation objectives.
- b. As built drawings of the implemented scheme
- c. Photographs of the remediation works in progress; and
- d. Certificates demonstrating that imported and / or material left in situ is free from contamination.

Thereafter, the scheme shall be monitored and maintained in accordance with the approved remediation scheme.

Reason: Previous activities associated with this site may have caused, or had the potential to cause, land contamination and to ensure that the proposed site investigations and remediation will not cause pollution in the interests of future residents and users of the development, and in accordance with Policy EN4 of the adopted South Kesteven Local Plan and national guidance contained in the National Planning Policy Framework.

### **Ongoing**

#### Soft Landscaping Implementation

19) Before the end of the first planting / seeding season following the first occupation of the development hereby permitted, all soft landscaping works shall have been carried out in accordance with the approved soft landscaping works.

Reason: Soft landscaping makes an important contribution to the development and its assimilation with its surroundings, and in accordance with Policy DE1 and EN6 of the adopted South Kesteven Local Plan.

#### Soft Landscaping Protection

20) Within a period of five years from the first occupation of the final dwelling / unit of the development hereby permitted, any trees or plants provided as part of the approved soft landscaping scheme, that die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced in the first planting season following any such loss with a specimen of the same size and species, unless otherwise agreed by the Local Planning Authority.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscaping, in accordance with the approved designs and in accordance with Policy DE1 and EN2 of the adopted South Kesteven Local Plan.

## **124. Application S25//0069**

### **Proposal:**

Removal of a modern stud partition to enlarge an existing office and provide additional means of access/escape to the Mayor's Parlour within the Guildhall.

### **Location:**

Guildhall Arts Centre, St Peter's Hill, Grantham, Lincolnshire, NG31 6PY

### **Recommendation:**

To authorise the Assistant Director for Planning to GRANT listed building consent subject to conditions

There were no public speakers.

Together with:

- Provisions within the South Kesteven (SK) Local Plan 2011-36, design guidelines for Rutland and SK Supplementary Planning Document, and the National Planning Policy Framework (NPPF).
- No objections received from Grantham Town Council.

Councillors Charmaine Morgan and Tim Harrison advised they were Members of Grantham Town Council. Whilst present at the meeting where the required works were discussed at Grantham Town Council meetings, neither were party to any decision and retained an open mind.

During question to Officers and debate, Members commented on:

- It was confirmed that the works included reinstating the original design.

Following discussions it was proposed, seconded, and AGREED to authorise the Assistant Director for Planning & Growth to GRANT listed building consent subject to conditions.

### **Time Limit for Commencement**

1 The works hereby consented shall be commenced before the expiration of three years from the date of this consent.

Reason: In order to ensure that the works are commenced in a timely manner, as set out in Sections 18 and 74 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).

### **Approved Plans**

2 The works hereby consented shall be carried out in accordance with the following list of approved plans and reports:

- i) Location Plan received 14 January 2025
- ii) Proposed Ground Floor Plan, Drawing No 12903-WMS-ZZ-00-D-A-10401-S8-P1 received 14 January 2025
- iii) Heritage Statement received 14 January 2025
- iv) Design and Access Statement received 14 January 2025

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

**125. Any other business, which the Chairman, by reason of special circumstances, decides is urgent**

The Assistant Director of Planning & Growth updated Members regarding the proposed Aldi site in Bourne. A start date for the appeal process had been sent to residents advising any comments to be sent directly to the Planning Inspectorate prior to the hearing in April 2025. The same applied for Members who could also request a speaking slot from the Planning Inspectorate.

A Member queried what was happening to the former Salvation Army site in North Street, Stamford. The Assistant Director of Planning & Growth noted that this was up to the landowner.

It was requested that a copy of the Local Plan was left in the Members Lounge following its review. Members were urged to access the document online.

*The Chairman concluded the meeting at 15.25 pm.*

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SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL



## Planning Committee

3 April 2025

## S24/1842

Proposal:	Proposed demolition of existing buildings and erection of new 66 bed care home for elderly people
Location:	The Woodlands, Tarragon Way, Bourne, Lincolnshire
Applicant:	LNT Care Developments
Agent:	Jo Kemp LNT Construction
Application Type:	Full Planning Permission
Reason for Referral to Committee:	Section 106 agreement for financial contribution Call-in received from Councillor Kelly and Councillor Crawford citing concerns relating to access and parking.
Key Issues:	Development principle Amenity impacts Highway safety
Technical Documents:	Design & Access and Planning Statement Flood Risk Assessment Contamination Report Ecological Appraisal Transport Statement/Travel Plan Construction Environment Management Plan Biodiversity Net Gain Assessment Drainage Strategy Sustainability Statement Arboricultural Method Statement Planning Needs Assessment

### Report Author

Kevin Cartwright (Senior Planning Officer)

01476 406375

Kevin.cartwright@southkesteven.gov.uk

Corporate Priority:	Decision type:	Wards:
Growth	Regulatory	Bourne West

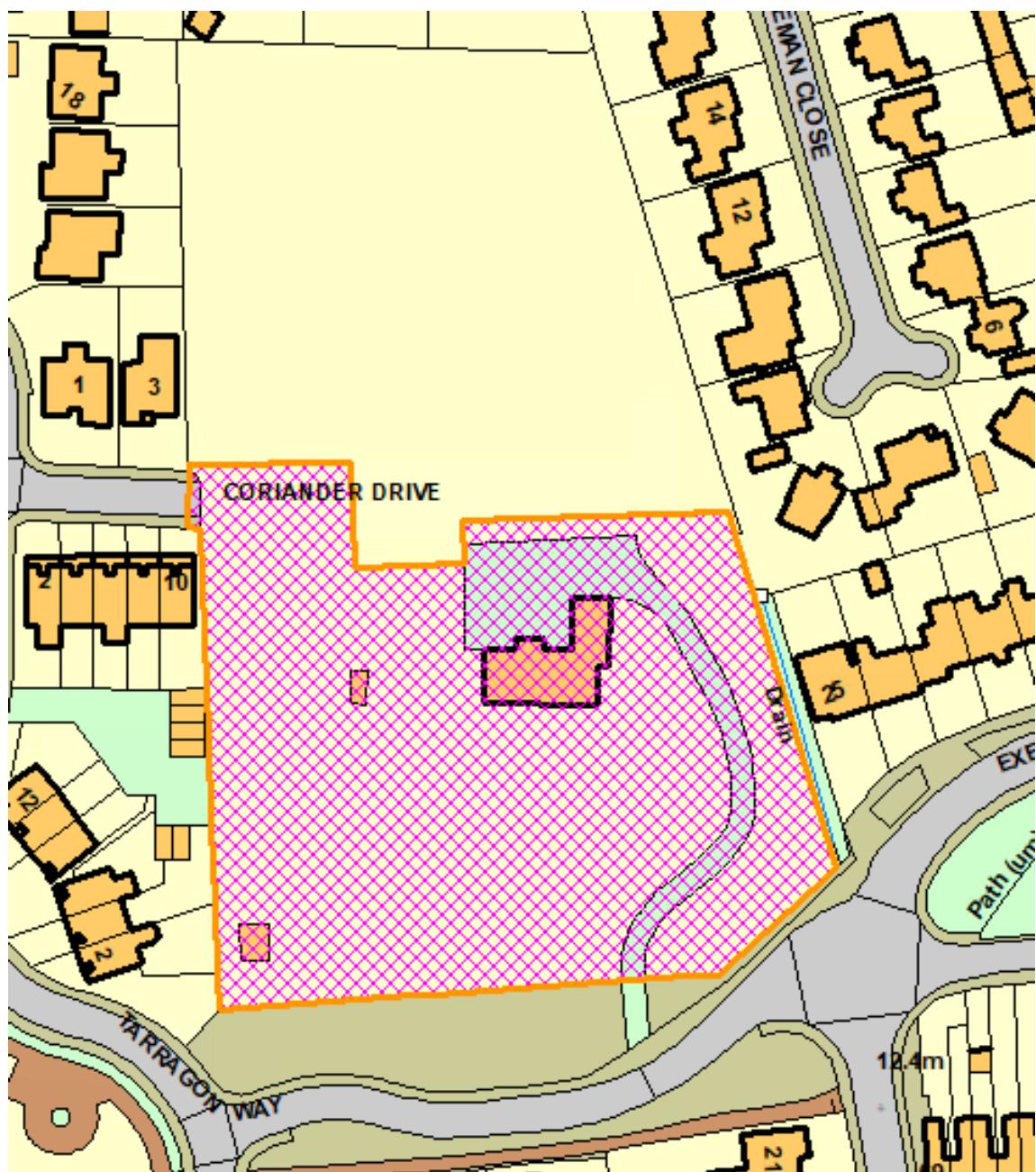
Reviewed by:

Adam Murray – Principal Development Management  
Planner

24 March 2025

### **Recommendation (s) to the decision maker (s)**

To authorise the Assistant Director – Planning to GRANT planning permission, subject to conditions and the completion of a Section 106 legal agreement



## **1 Description of Site**

- 1.1 The application site is located within Bourne in a predominantly residential area. The site is approximately 0.67 hectares and currently hosts an unoccupied 2 storey dwelling and associated ancillary buildings located roughly centrally within the plot.
- 1.2 There are a number of small to medium sized trees on the site.
- 1.3 The existing dwelling is accessed from the south adjacent to the roundabout on Exeter Street/Tarragon Way.

## **2 Description of Proposal**

- 2.1 The proposal is to redevelop the site, including the demolition of the existing property and construct a 66-bed residential care home with associated infrastructure, access, car parking and landscaping.
- 2.2 The applicant has stated that the proposal is designed to be fully compliant with the Care Standards Act 2000 including the following provisions:
  - A two-storey, purpose-built building with brick, render and timber-effect clad façade, with dark grey windows and dark tile roof totalling 3,178 sqm GIA.
  - Single-room accommodation with en-suite wet room facilities.
  - High quality amenity spaces, including cafes/bars/dining rooms; quiet lounges/family rooms; a library, garden room, cinema and a hair salon.
  - State-of-the-art back of house / catering facilities, including staff showers and changing rooms.
  - Wide corridors, with level/amenable access throughout.
  - parking spaces (including 2 accessible, 6 Electric Vehicle Charging Point, 1 motorcycle space and 8 cycle spaces).
  - External service buildings (including a meter house, solar PV battery store and bin store).
- 2.3 The proposed building would be two-storey with a central ridge height of approximately 9.8 metres. It would be constructed of a mix of brick and cladding.
- 2.4 The building would have a H plan layout with accommodation in four wings located around a central lounge and dining area.
- 2.5 The proposal would be accessed off Coriander Drive with parking and servicing to the north of the building.
- 2.6 In addition to the main building there would be an ancillary PV battery storage building, bin store and cycle store.

- 2.7 There would be residents garden areas to the east and west of the building linked by a walkways that circulate the proposed building.
- 2.8 The existing access to the south of the site would be closed off with brick work of a similar style to that of the existing boundary.
- 2.9 The proposal was amended during the life of the application to provide additional car parking providing a total of 30no. spaces.

## **3 Policy Considerations**

### **3.1 SKDC Local Plan 2011 – 2036**

Policy SD1 – The Principles of Sustainable Development in South Kesteven  
Policy SP1 – Spatial Strategy  
Policy SP2 – Settlement Hierarchy  
Policy SP3 – Infill Development  
Policy H4 – Meeting All Housing Needs  
Policy SB1 – Sustainable Building  
Policy EN4 – Pollution Control  
Policy EN5 – Water Environment and Flood Risk Management  
Policy DE1 – Promoting Good Quality Design  
Policy ID2 – Transport and Strategic Transport Infrastructure

### **3.2 National Planning Policy Framework (NPPF)**

Section 2 – Achieving sustainable development  
Section 4 – Decision making  
Section 5 – Delivering a sufficient supply of homes  
Section 12 – Achieving well designed places  
Section 14 – Meeting the challenge of climate change, flooding and coastal change  
Section 15 – Conserving and Enhancing the Natural Environment

## **Other Relevant Documents**

Design Guidelines for Rutland and South Kesteven

## **4 Representations Received**

### **4.1 Environmental Protection Services (SKDC)**

- 4.1.1 No objection.

## 4.2 LCC Highways & SuDS Support

4.2.1 Initial comments – Please provide additional information in relation to the possibility of accessing the site from the south, increase parking provision and provide clarification why drainage by soakaway is not suitable.

Final Comments – No objection subject to conditions in relation to closing off the existing access, provision of bus station crossing, crossing for vision impaired pedestrians and provision of footway road connection to the existing highway.

## 4.3 NHS Lincolnshire Integrated Care Board

4.3.1 A contribution of £25, 954 is requested to mitigate against the impact of an increased demand on local health care centres/services

## 4.4 Lincolnshire Fire and Rescue

4.4.1 No comments to make. The proposal would be required to comply with the relevant Building Regulations requirements.

## 4.5 Anglian Water

4.5.1 Bourne Water Recycling Centre is within the acceptance parameters and can accommodate the flow for the proposed growth.

4.5.2 The sewerage system at present has capacity for these flows.

4.5.3 The submitted documents (FRA Oct 2024 Rev 03/Drainage Strategy WOBO-BSP-XXXX-T-W-0001-P04\_Drainage\_Strategy 11 Feb 2025 ) and can confirm that these are acceptable to us at a maximum of 2l/s. We require these documents to be listed as approved plans/documents if permission is granted.

## 4.6 Environment Agency

4.6.1 No objection noting that Anglian Water have indicated capacity at the water recycling centre.

## 4.7 Lincolnshire Wildlife Trust

4.7.1 The Trust have no substantive comments or recommendations on the proposal.

## 4.8 Lincolnshire Police

4.9 No objections to this development.

## 5 Representations as a Result of Publicity

5.1 This application has been advertised in accordance with the Council's Statement of Community Involvement and 53no. letters of representation have been received. A summary of the comments is set out below:

- Access is unsuitable
- Existing parking along Tarragon Way causes concerns
- Access should be from the existing roundabout
- No objection in principle to a care home
- Increase in volume of traffic would be dangerous

- Car parking is not sufficient
- Large HGV's would not be able to access the site
- Noise and disturbance from construction traffic
- The additional land to the north would add further concerns in relation to traffic and disruption
- Proposal would add to existing drainage problems
- Increased traffic generation would be dangerous
- Existing car parking on the road restricts visibility
- Noise and disturbance for neighbouring residents as care homes allow 24 hour visitors and deliveries
- There is limited traffic along Coriander Drive at present proposal would significantly increase this
- Increased traffic during shift changes
- The communal area would result in overlooking and loss of privacy
- Increased light pollution
- Proposal would result in loss of trees
- Would have detrimental impact on the character and appearance of the area
- There is no bus service as per the submitted details
- The road, sewerage and drainage is not sufficient to accommodate the proposal
- The Estate is already congested
- Inadequate parking would result in overflow onto the estate causing safety and congestion issues to residents
- Staff will use cars because of the shift patterns and times
- One delivery van per week seems to be a complete underestimate
- Bin store adjacent to 10 Coriander Drive would result in noise and disturbance, odour and vermin problems
- Would turn a peaceful estate into a dangerous heavy traffic area
- The estate is used by children as a route to the schools
- The application is misleading as access is off Coriander Drive not Exeter Road
- Any future application on the remaining land to the north would further increase traffic and safety concerns
- Health and social Care Act requires adequate parking provision
- Difficult for emergency vehicles to access the site
- Would result in loss of green space
- Construction traffic should not be allowed through Coriander Drive
- Would take staff from existing care homes
- Access could be made to Exeter Road it would not result in the loss of the open space

6.2 A further consultation was undertaken in relation to the amended plans. A further 20no. representations have been received. A summary of the main concerns is detailed below:

- No access from Tarragon Way
- Entrance should not be from Coriander Drive. Should be from the existing access
- Relocating the bin store does not address the issues of noise and odours
- Additional parking does not address concerns regarding the access
- Amending the access has been totally ignored
- Concerns remain regarding access
- No effort has been made to review the impact of construction traffic

- Detrimental impact on health and wellbeing of residents
- Access is unsuitable. Road is not wide enough
- Existing parked cars force pedestrians into the road
- Unclear as to what is proposed to the footway adjacent to the access
- Will cause parking chaos. Yellow lines would make this worse by moving the parked traffic towards the entrance of Tarragon Way.
- Coriander Drive is a cul-de-sac and designed for this purpose. Creating a through passage will be problematic for residents and visitors alike.

## 6 Evaluation

### 6.1 Principle of Development

The proposal would result in the construction of a 66 bed care home following the demolition of the existing dwelling on the site. The relevant policies in relation to proposal are discussed below

6.1.1 Overarching Policy SD1 is inevitably of relevance, with regard to the following objectives:

- minimise the need to travel/locate close to services
- convert/redevelop vacant buildings within settlements
- provide housing that meets the need of future and present generations

6.1.2 Policy SP1 is also relevant to consideration of the development principle, in particular where it discusses the following objectives:

- deliver sustainable growth including new housing
- focus growth in main settlements, especially Grantham
- create strong, sustainable, cohesive and inclusive communities
- make effective use of previously developed land
- enable access to jobs, services and facilities locally

6.1.3 Policy SP3 supports infill development subject to a number of criteria:

- it is within a substantially built-up frontage or re-development opportunity (previously development land);
- it is within the main built-up part of the settlement;
- it does not cause harm or unacceptable impact upon the occupiers amenity of adjacent properties;
- it does not extend the pattern of development beyond the existing built form; and it is in keeping with the character of the area and is sensitive to the setting of adjacent properties.

6.1.4 Policy H4 of the Local Plan promotes a mix of types of housing provision, including housing to enable older people and the most vulnerable to promote, secure and sustain their independence in a home appropriate to their circumstances, including through the provision of specialist housing accommodation in sustainable locations.

6.1.5 Section 5 of the NPPF outlines the Government's objective of delivering a sufficient supply of homes. At para 63 the states:

*Within this context of establishing need, the size, type and tenure of housing needed for different groups in the community should be assessed and reflected in planning policies. These groups should include (but are not limited to) those who require affordable housing (including Social Rent); families with children; looked after children; older people (including those who require retirement housing, housing with-care and care homes); students; people with disabilities; service families; travellers; people who rent their homes and people wishing to commission or build their own homes.*

6.1.6 The Planning Practice Guidance entitled 'Housing for older and disabled people' provides guidance and can be summarised below:

- The need to provide housing for older people is critical. People are living longer lives and the proportion of older people in the population is increasing;
- Offering older people a better choice of accommodation to suit their changing needs can help them live independently for longer, feel more connected to their communities and help reduce costs to the social care and health systems;
- The provision of appropriate housing for people with disabilities, including specialist and supported housing, is crucial in helping them to live safe and independent lives;

7.1.8 Taking the above policies into account, the principle of the proposal is considered to be acceptable. The site is located centrally within Bourne, and the proposal will provide a specialist form of needed housing in the district in the form of care provision for the elderly. The proposal is therefore considered to be in accordance with Policies SP1, SP3, H4, of the South Kesteven Local Plan and Sections 5 and 12 of the NPPF and associated Planning Practice Guidance. Specific environmental and technical issues, which support this conclusion, are discussed in detail in the following sections below.

## 6.2 Impact on the character of the Area

6.2.1 The proposal is for the erection of a care home building on the site of an existing dwelling. Whilst accepting that the proposed building would be larger than the dwelling it would replace it is considered that the building due to its residential nature would be in keeping with the character and appearance of the area and surrounding residential form.

6.2.2 Additionally, the site is well screened by the existing wall which would be infilled to close off the current access and set back from the road frontage along the Tarragon Way/Exeter Street frontage by an area of informal open space.

6.2.3 Landscaping is proposed as part of the scheme and would include retention of the existing hedges and main trees and supplemented by extensive tree planting within and around the boundary of the site. A total of 31 no. extra heavy standard trees and 64 no. standard trees would be planted in addition to single species and mixed species native hedges.

6.2.4 Taking into account the above matters it is considered that the proposal would be an acceptable form of development in keeping with the context and character and appearance of the street scene. As such the proposal would be in accordance with Policy DE1 of the Local Plan and Section 12 of the NPPF.

### 6.3 Impact on Residential Amenity

- 6.3.1 The proposed building would be located in a predominantly residential area. With the exception of the land directly north of the site which is currently part of the extensive rear garden area of the existing dwelling the site is adjacent to residential properties.
- 6.3.2 However, due to the size of the plot and siting of the dwelling within the site, there would be adequate separation distances to ensure that the proposal would not result in any significant overlooking loss of privacy or overshadowing with the proposed building being set approximately 18 metres from western boundary of the site and approximately 18 metres to the eastern boundary.
- 6.3.3 Whilst it is accepted that the parking and turning areas are located to the north and west of the building and therefore would be closer to the neighbouring properties there would be still be adequate separation of approximately 3m to 3.5m between the parking bays and the boundary of the site to ensure that neighbouring occupiers would not experience any significant noise and disturbance from comings and goings to the site that would justify a refusal of planning permission on this basis.
- 6.3.4 The proposed bin store has been relocated adjacent to the PV battery storage which would be located adjacent to the rear parking area that serves no. 2-12 Tarragon Way. This would ensure that there would not be any significant impact on the amenity of neighbouring occupiers.
- 6.3.5 It is accepted that the proposal would result in additional vehicle movements via Tarragon Way and Coriander Drive and it is not disputed that this will to some extent intensify the use of what is a small cul-de sac that serves a limited number of residents.
- 6.3.6 The care home would operate a policy of unrestricted visiting times. This would help disperse visits/trips.
- 6.3.7 Based on the applicant's submission and their experience of similar proposals it is estimated that the proposal would provide approximately 58 jobs. This would be the total employment and not the number of staff on site at any one time.
- 6.3.8 Based on shift patterns it is estimated that at any one time there would be a maximum number of 24 staff on site. Staff generally work on a 3 days on and 3 days off shifts with the following patterns:

APPENDIX ONE – INDICATIVE STAFF AND SHIFT PATTERNS

<b>Table 1: Employment Table</b>			
<b>Day shifts</b>	<b>Total No. of staff</b>	<b>No. of staff per shift</b>	<b>Shift pattern</b>
Manager	1	1	08.00 – 17.00
Care Manager	1	1	08.00 – 17.00
Front of House Manager	1	1	09.00 – 17.00
Lifestyle Manager	1	1	09.00 – 17.00
Activities Coordinator	2	1	10.00 – 15.00
Deputy	2	1	08.00 – 20.00
Senior Care Assistant	8	4	08.00 – 20.00
Care Assistant	8	4	08.00 – 20.00
Part Time Care Assistant	6	3	07.00 – 14.30
Caretaker	1	1	10.00 – 14.00
Kitchen Manager/Cook	2	1	08.00 – 17.00
Kitchen Assistant	2	1	09.00 – 15.00
Domestic Staff	3	2	08.00 – 13.00
Head of Housekeeping	1	1	08.00 – 13.00
Laundry Staff	2	1	08.00 – 13.00
<b>Total Day shift</b>	<b>41</b>	<b>24</b>	
<b>Evening Shift (14.30 – 22.00)</b>			
Part Time Care Assistant	6	3	14.30 – 22.00
<b>Night shifts</b>	<b>Total No. of staff</b>	<b>No. of staff per shift</b>	<b>Shift pattern</b>
Night care manager	1	1	20.00 – 08.00
Senior Care Assistant	4	2	20.00 – 08.00
Care Assistant	6	3	20.00 – 08.00
<b>Total Night shift</b>	<b>12</b>	<b>6</b>	
<b>Total Day &amp; Night shift</b>	<b>58</b>	<b>33</b>	
<b>Total Week</b>	<b>58</b>	<b>33</b>	

6.3.9 The submitted transport statement indicates that in terms of servicing requirements, the frequency and size of vehicles is relatively low. On average the proposed home would generally receive only one delivery vehicle per day in the form of a 7.5 tonne vehicle delivering foodstuffs and perishables.

6.3.10 Whilst accepting that the proposal would increase vehicle movements, it is not considered that the number of trips generated by the proposal would result in any significant noise and disturbance that would harm the amenity of neighbouring occupiers that would justify a refusal of planning permission on this basis. This is confirmed by the comments of the environmental protection team who have not raised any objection to the proposed development.

6.3.11 The demolition and construction phase of the development may result in a degree of disturbance to the occupiers of neighbouring properties. A construction management plan has been submitted that has been assessed by the Council's Environmental Protection Team. This would ensure that the development is undertaken minimise impact on the amenity of neighbouring occupiers. Compliance with this document would be secured by an appropriately worded condition.

6.3.12 Taking into account the scale and nature of the proposal, there is not considered to be an unacceptable adverse impact on any residential amenity, subject to conditions to include a Construction Management Plan and securing landscaping as per the submitted details. The proposal is considered to comply with Policy DE1 of the Local Plan.

## 6.4 Highway Safety

6.4.1 The proposal would be served by a vehicle access from Coriander Drive which in turn connects to Tarragon Way.

6.4.2 The existing access from the south of the site onto Tarragon Way/Exeter Road that serves the dwelling would be permanently closed off by infilling the boundary treatment.

6.4.3 The local highway authority has assessed the proposed development and has not raised any objection subject to conditions in relation to the closure of the existing access, the provision of a bus station crossing, crossing for vision impaired pedestrians and the provision of safe and level infrastructure.

6.4.4 The Highway Authority has provided a comprehensive assessment of the proposal and arrives at the following conclusions:

- Future residents of the site can access the Town centre and local facilities to the South and East along Exeter Street, however, many of the crossing points along these roads are limited to a dropped kerb crossing, as such, with the increased use of these crossings from the care home, the Highway Authority are seeking their upgrade to facilitate future residents that may be vision impaired. This would also improve access to the bus stop that is located to the South of the site.
- To the East of the site is the Bus Station, this can be accessed from the site with a short walk, however, there are limited means in which residents would be able to cross safely to access the Bus Station, therefore, the Highway Authority are requesting the installation of a Zebra Crossing at this point.
- The site layout provides access to the Northwest of the site, travelling through the previous development before joining Exeter Street at the roundabout. It would have been preferred that access to the site was provided from the South boundary, removing the need for traffic through the site traveling along Tarragon Way and provided a more sustainable link to the town for pedestrians, however, the applicant demonstrated that this would not be achievable.
- The parking provision for the site exceeds Lincolnshire County Council's official guidance, the applicant has demonstrated that the parking will be sufficient to meet the peak staff and visitor levels for the site.
- This application proposes a mix of permeable paving and traditional drainage to capture and cleanse surface water before it is stored in underground storage and discharged. Therefore, the Lead Local Flood Authority does not consider that this proposal would increase flood risk in the immediate vicinity of the site.

6.4.5 The concerns of residents are noted, and it is accepted that the proposal will to some extent change the nature of the surrounding roads in that it would increase in the number of vehicles visiting the proposed care home both in the form of staff and servicing and also visitors. However, the highway authority has not raised any objection subject to off-site works to improve connectivity back towards North Street and Bourne town centre.

7.4.6 It can therefore be concluded that the application, in respect of highway safety, is not in conflict with Policy ID2 of the Local Plan, or with Paragraph 116 of the NPPF.

## 6.5 **Sustainability**

6.5.1 The planning application is accompanied by a sustainability statement that highlights how the proposed development would deliver its sustainable development objectives:

- The Site is well-served by existing public transport connections, and by foot and bike. The proposals intend to make best use of this to minimise the use of private motor vehicles through the implementation of the submitted Travel Plan.
- Appropriate forms of renewable energy (including solar PV panels and Ground Source Heat Pumps) will be used to continually manage the care homes operational viability and resource efficiency. Waste will also be regularly monitored and appropriately managed through construction and operation stages
- A PV battery store on the site would allow excess energy to be stored on the site
- The building would be constructed on a ‘fabric is first’ basis. This would involve the provision of good levels of insulation and airtight construction, effective glazing and natural passive heating and cooling.
- The Ground Source Heat Pump will heat water and provide comfort cooling in communal areas and feed into underfloor heating (in bedrooms) to overall maintain constant and comfortable temperatures. A ‘back-up’ boiler will also be available and will be powered by electricity generated from the PV panels, or in the worst-case scenario mains supply.
- A by-product of Ground Source Heating is Ground Source Cooling. This method uses the heat exchange with the cold ground and will cool the building in the summer months. This is a highly efficient way of cooling the care home in the summer months.
- Water efficiency and conservation is particularly important in the Southeast where water scarcity is of concern. By taking steps to address this and reduce water consumption within the care home, we can also decrease energy consumption (associated with water heating).
- Dual flush mechanisms will be fitted to all toilets throughout the facility. All taps and showers will be fitted with flow restrictors to further minimise water consumption.

6.5.2 Taking into account the above matters the application would give rise to an acceptable form of sustainable development, in accord with Policies SD1, SB1 and DE1 of the Local Plan, and with the NPPF.

## 6.6 **Drainage**

6.6.1 A comprehensive drainage strategy has been provided following the applicant’s pre-application consultation with Anglian Water. Due to site conditions soakaway testing has

demonstrated that infiltration is not viable. As such surface water runoff would be restricted to 2litres per second via onsite underground storage tanks and permeable paving.

- 6.6.2 Foul drainage would connect to the existing sewer with Coriander Drive.
- 6.6.3 This proposed drainage solution has been assessed by both Anglian Water and Lincolnshire County Council in its capacity as Lead Local Flood Authority and no objections have been raised. As such the proposal is considered to accord with local plan policy EN5.

## 6.7 **Fire Safety**

- 6.7.1 The comments of Lincolnshire Fire and Rescue are noted. Of particular importance is the fact that they reference compliance with the relevant Building Regulations requirements. As such it is not the role of the planning system to duplicate any requirements in this respect.

## 6.6 **S106 Developer Contributions**

- 6.6.1 Regulation 122 of the Community Infrastructure Regulations 2010 (and repeated in Paragraph 58 of the Framework) requires planning obligations to be fair and reasonably related in scale and kind to the development proposal and necessary to make the development acceptable terms.
- 6.6.2 The following requests for developer contributions have been received:
- 6.6.3 NHS Lincolnshire Integrated Care Board - A £25, 954 contribution to mitigate the impact on Hereward Medical Centre, Bourne Galletly Practice, Glenside Country Practice and Market Cross Surgery as the development is within their catchment area.
- 6.6.4 It is considered that the request satisfies the above tests in that without the contributions there would be an unacceptable and unmitigated impact on identified local surgeries.

## 6.7 **Other Matters**

### Alternative Access

- 6.7.1 A number of representations have been made in relation to the proposed access and why it has not been taken from the south of the site as per the existing dwelling onto Exeter Street and Tarragon Way as an alternative to the proposed access onto Coriander Way from the west.
- 6.7.2 Officers would echo the comments of the Highway Authority in that it would be preferable for the access to be from the south of the site. However, the applicants do not have a right of access over third party land that is owned by Barratt David Wilson following the construction of the wider Tarragon Way/Thyme Avenue housing development. As such an alternative access route to the site cannot be achieved and it falls for this application to be considered as submitted.

### Biodiversity Net gain

- 7.7.3 A Biodiversity Net gain (BNG) metric has been submitted which demonstrates that the proposed development would achieve a 10.4% net gain in habit units and 917.9% increase in hedgerow units. This would be secured through the submission of a BNG Management Plan which would secure the implementation, management and monitoring of the site for at least 30 years to ensure that the identified gain is delivered.

### 7.7.3 Need

The applicants have provided a planning need assessment which demonstrates that there is a shortfall in provision. This conclusion is confirmed by the South Kesteven District Local Housing Needs Assessment (LHNA) 2023 – Final Report September 2023.

The report, based on elderly population growth over the period of 2021 to 2041 estimates that there would be a need for between 37-65 additional care home beds with or without nursing per annum over the 20 year period.

### Contamination

### 7.7.4 The planning application was accompanied by a contamination report which indicates that there is no evidence of contamination on the site. These conclusions are supported by the comments of the Environmental Protection Team no raising any objection. As such the proposal is considered to accord with local plan policy EN4 and NPPF Section 15.

## **7 Crime and Disorder**

### 7.1 It is considered that the proposal would not result in any significant crime and disorder implications.

## **8 Human Rights Implications**

### 8.1 Articles 6 (Rights to fair decision making) and Article 8 (Right to private family life and home) of the Human Rights Act have been taken into account in making this recommendation. It is considered that no relevant Article of that act will be breached.

## **9 Conclusion and Planning Balance**

### 10.1 The proposed care home is considered acceptable having regard to the NPPF and to the Local Plan, in particular Local Plan Policies SD1, SP1, SP2, SP3, H4, SB1, EN4, EN5, DE1, ID2 and NPPF Sections 2, 4, 5, 12, 14 and 15. Whilst concerns have been raised in relation to highway matters and residential amenity they are not considered to outweigh the policies referred to above.

## **RECOMMENDATION:**

### **Recommendation – Part 1**

### 10.2 To authorise the Assistant Director – Planning to GRANT planning permission, subject to the completion of a Section 106 legal agreement securing the necessary financial contribution towards healthcare provision.

### **Recommendation – Part 2**

### 9.3 Where the Section 106 Agreement has not been concluded prior to the Committee, a period not exceeding 12 weeks after the date of the Committee shall be set for the completion of the obligation.

9.4 In the event that the agreement has not been concluded within the 12-week period and where, in the opinion of the Assistant Director – Planning, there are no extenuating circumstances which would justify a further extension of time, the related planning application shall be refused for the following reason(s):

The applicant has failed to enter into a planning obligation to secure the necessary financial contribution towards provision of local surgery(s) and town centre improvements. As such the necessary criteria essential to make what would otherwise be unacceptable development acceptable have not been forthcoming.

## **Schedule of Conditions**

### **Time Limit for Commencement**

- 1 The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: In order that the development is commenced in a timely manner, as set out in Section 91 of the Town and Country Planning Act 1990 (as amended).

### **Approved Plans**

- 2 The development hereby permitted shall be carried out in accordance with planning application form, and with the following list of approved plans:
  - (i) Location Plan
  - (ii) Proposed Site Plan – Dwg No. PE10 9NJ-A-03-A
  - (iii) Proposed Elevations – Dwg. No. PE10 9NJ-A-05
  - (iv) Proposed Floor and Roof Plans – Dwg No. PE10 9NJ – A-04
  - (v) Soft Landscape Specification – Dwg. No. MR24-093/101 Rev B

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

### **Prior to Commencement**

- 3 Before the development hereby permitted is commenced, plans showing the existing and proposed land levels of the site including [site sections, spot heights, contours and the finished floor levels of all buildings] with reference to [neighbouring properties/an off-site datum point] shall have been submitted to and approved in writing by the Local Planning Authority.

The development shall be undertaken in accordance with the approved details.

Reason: In the interests of the visual amenities of the area and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

- 4 Notwithstanding the submitted details before any of the works on the external elevations above damp proof course for the building(s) and the infilling of the boundary wall to the southern elevation hereby permitted are begun, samples of the materials (including colour of any render, paintwork or colourwash) to be used in the construction of the external surfaces shall have been submitted to and approved in writing by the Local Planning Authority.

The development shall be undertaken in accordance with the approved details.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### **Prior to Occupation**

- 5 Prior to the occupation of the development hereby permitted the surface and foul drainage for the site shall be undertaken in accordance with Proposed Drainage Strategy WOBO-BSP-XX-XX-T-W-0001-P04\_Drainage\_Strategy dated 11 Feb 2025 and retained as such thereafter.

Reason: To ensure that the proposed drainage is suitable for the development, and in accordance with the technical information relating drainage within the current application, to ensure that the development will accord with Policy EN5 of the Local Plan.

- 6 Prior to occupation of the development hereby permitted the hard landscaping works shall have been undertaken in accordance with Proposed Site Plan – Dwg No. PE10 9NJ-A-03-A and retained as such thereafter.

Reason: Hard landscaping makes an important contribution to the development and its assimilation with its surroundings and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

- 7 Before any part of the development hereby permitted is occupied/brought into use, the storage of refuse and recycling and cycle storage shall be undertaken in accordance with Proposed Site Plan – Dwg No. PE10 9NJ-A-03-A and retained as such thereafter.

Reason: To ensure the provision of satisfactory facilities for the storage of refuse and promote sustainable means of travel.

- 8 Before any part of the development hereby permitted is occupied/brought into use, the vehicle parking and turning area shall have been undertaken in accordance with Proposed Site Plan – Dwg No. PE10 9NJ-A-03-A and retained as such thereafter.

Reason: To ensure that adequate parking provision is provided and retained in order to minimise on street parking and to ensure that vehicles can enter and leave premises in a forward gear in the interests of highway safety.

- 9 Before the end of the first planting/seeding season following the occupation/first use of any part of the development hereby permitted, all soft landscape works shall have been carried out in accordance with the approved soft landscaping details Soft Landscape Specification – Dwg. No. MR24-093/101 Rev B.

Reason: Soft landscaping and tree planting make an important contribution to the development and its assimilation with its surroundings and in accordance with Policies DE1, EN3 and OS1 of the adopted South Kesteven Local Plan.

- 10 Within a period of five years from the first occupation of the development hereby permitted, any trees or plants provided as part of the approved soft landscaping

scheme, that die or become, in the opinion of the Local Planning Authority, seriously damaged or defective, shall be replaced in the first planting season following any such loss with a specimen of the same size and species as was approved in condition above unless otherwise agreed by the Local Planning Authority.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscape in accordance with the approved designs and in accordance with Policies DE1, EN3 and OS1 of the adopted South Kesteven Local Plan.

11 Within seven days of the new access being brought into use, the existing access onto Tarragon Way (South of the site that serves the dwelling) shall be permanently closed in accordance with details to be agreed in writing with the Local Planning Authority.

Reason: To reduce to a minimum, the number of individual access points to the Tarragon Way in the interests of road safety.

12 No part of the development hereby permitted shall be occupied before the works to improve the public highway by installation of a Zebra Crossing adjacent to the Bus Station have been certified complete by the Local Planning Authority.

Reason: To ensure the provision of safe and adequate means of access to the permitted development for travel by Bus.

13 The development hereby permitted shall not be occupied before the 8 pedestrian crossing points over Exeter Street (junction with Tin Lane, junction with Exeter Gardens, junction with Burghley Street, Junction with Exeter Close, junction with Exeter Court, crossings at the with Tarragon Way, junction with St Gilberts Road ) have been upgraded to tactile crossing points, to improve the existing footway network for vision impaired pedestrians, they will be provided in accordance with details that shall first have been submitted to, and approved in writing by, the Local Planning Authority. The works shall also include appropriate arrangements for the management of surface water run-off from the highway.

Reason: To ensure the provision of safe and adequate pedestrian access to the permitted development, without increasing flood risk to the highway and adjacent land and property.

14 Before the development is occupied, all of that part of the estate road and associated footways that forms the junction with the main road and which will be constructed within the limits of the existing highway, shall be laid out and constructed to finished surface levels in accordance with details to be submitted to, and approved in writing by, the Local Planning Authority.

Reason: In the interests of safety, to avoid the creation of pedestrian trip hazards within the public highway from surfacing materials, manholes and gullies that may otherwise remain for an extended period at dissimilar, interim construction levels.

## **During Construction**

15 During any demolition/construction all existing trees and hedges to be retained shall be protected in accordance with Arboricultural Impact Assessment Drawing No. Arbtech AIA 01 Rev A and Tree Protection Drawing No. Arbtech TPP o1 Rev A.

Reason: To ensure a satisfactory form of development.

16 The development hereby permitted shall be undertaken in accordance with the sustainable development design and construction methods as set out in the approved Sustainability Statement – LNT Care Developments dated October 2024.

Reason: To ensure that the development mitigates against, and adapts to climate change, in accordance with Policy SB1 of the adopted South Kesteven Local Plan.

17 The development hereby permitted shall be undertaken in accordance with the submitted Construction Environmental Management Plan Dated December 2024 and the Site Setup Plan Drawing No. PE10 9NJ CP-04-C.

Reason: In the interests of residential amenity of neighbouring occupiers.

**Standard Note(s) to Applicant:**

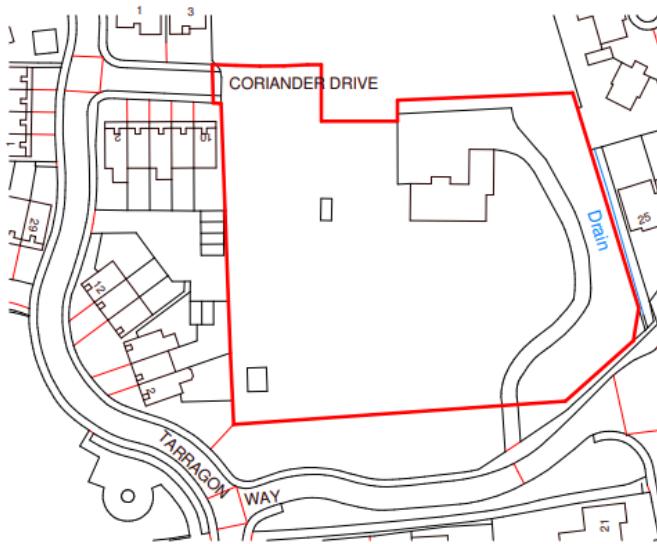
- In reaching the decision the Council has worked with the applicant in a positive and proactive manner by determining the application without undue delay. As such it is considered that the decision is in accordance with paras 38 of the National Planning Policy Framework.
- All roads within the development hereby permitted must be constructed to an acceptable engineering standard. Those roads that are to be put forward for adoption as public highways must be constructed in accordance with the Lincolnshire County Council Development Road Specification that is current at the time of construction and the developer will be required to enter into a legal agreement with the Highway Authority under Section 38 of the Highways Act 1980. Those roads that are not to be voluntarily put forward for adoption as public highways, may be subject to action by the Highway Authority under Section 219 (the Advance Payments code) of the Highways Act 1980. For guidance, please refer to <https://www.lincolnshire.gov.uk>
- Please contact the Lincolnshire County Council Streetworks and Permitting Team on 01522 782070 to discuss any proposed statutory utility connections, Section 50 licences and any other works which will be required within the public highway in association with the development permitted under this Consent. This will enable Lincolnshire County Council to assist in the coordination and timings of these works. For further guidance please visit the Highway Authority's website via the following link: Traffic Management - <https://www.lincolnshire.gov.uk/traffic-management>
- In accordance with Section 59 of the Highways Act 1980, please be considerate of causing damage to the existing highway during construction and implement mitigation measures as necessary. Should extraordinary expenses be incurred by the Highway Authority in maintaining the highway by reason of damage caused by construction traffic, the Highway Authority may seek to recover these expenses from the developer.
- The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that planning permission granted for the development of land in England is deemed to have been granted subject to the condition "(the biodiversity gain condition)" that development may not begin unless:
  - (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
  - (b) the planning authority has approved the plan.

The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan if one is required in respect of this permission would be South Kesteven District Council.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are listed below.

Based on the information available this permission is considered to be one which will require the approval of a biodiversity gain plan before development is begun

## Location Plan



## LOCATION PLAN

1 : 1250

## Site Plan



## Proposed Elevations



REV 0 DATE 07/04/2004 DRAWN  
DETAILS OF AMENDMENTS  
PROVISIONS

**LNT Construction**

LNT CONSTRUCTION LTD  
144 STATION ROAD  
ISABELLA ROAD  
GARRETT  
L12 8TJ  
Tel: 0113 385 3658  
Fax: 0113 385 3658

**LNT CARE DEVELOPMENTS**

THE WOODLANDS  
BELLWOODS  
PE10 9NU

PROPOSED ELEVATIONS

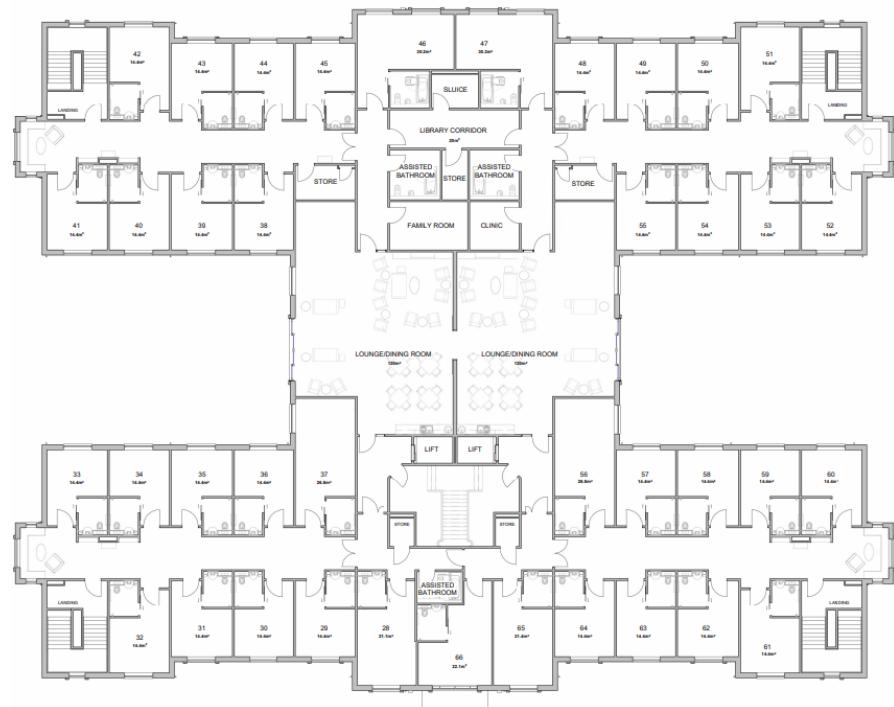
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Scale:	1:100	Author:	PATRICK MUL - A-S
Page No:	1	Page No:	1

FOR PLANNING APPROVAL

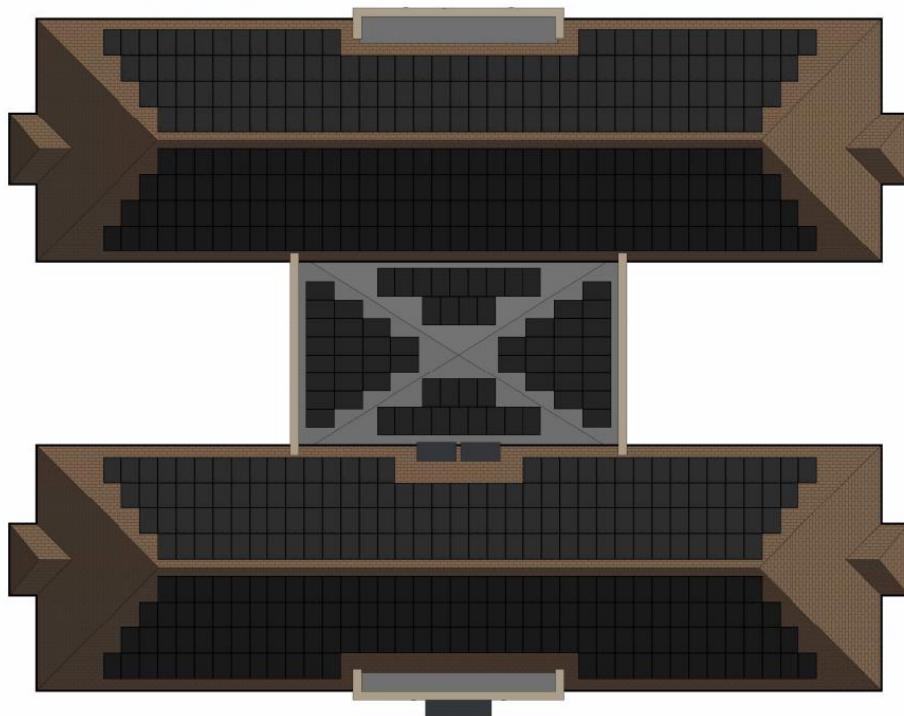
## Proposed Floor Plans



**GROUND FLOOR**



**FIRST FLOOR**



**ROOF PLAN**

1 : 200

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SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL



## Planning Committee

3 April 2025

**S24/1681**

Proposal:	Application for the approval of reserved matters relating to access, appearance, landscaping, layout and scale for convenience store (Class E) as part of local centre pursuant to outline planning permission S08/1231
Location:	Land to the west of Penryhn Way Poplar Farm Grantham
Applicant	Norwich Hub and Buckminster
Application Type:	Reserved Matters
Reason for Referral to Committee:	Application for the approval of reserved matters pursuant to an outline planning permission granted by Planning Committee
Key Issues:	<ul style="list-style-type: none"><li>Compliance with the outline planning permission</li><li>Impact on the character and appearance of the area</li><li>Impact on neighbouring amenity</li><li>Access and Parking</li></ul>
Technical Documents:	<ul style="list-style-type: none"><li>Design and Access Statement</li><li>Ecological Walkover and Habitat Survey</li><li>Local Centre Drainage Report</li><li>Statement of Community Engagement</li></ul>

### Report Author

Adam Murray – Principal Development Management Planner



01476 406080



Adam.Murray@southkesteven.gov.uk

Corporate Priority:	Decision type:	Wards:
Growth	Regulatory	Grantham Arnoldfield

### Reviewed by:

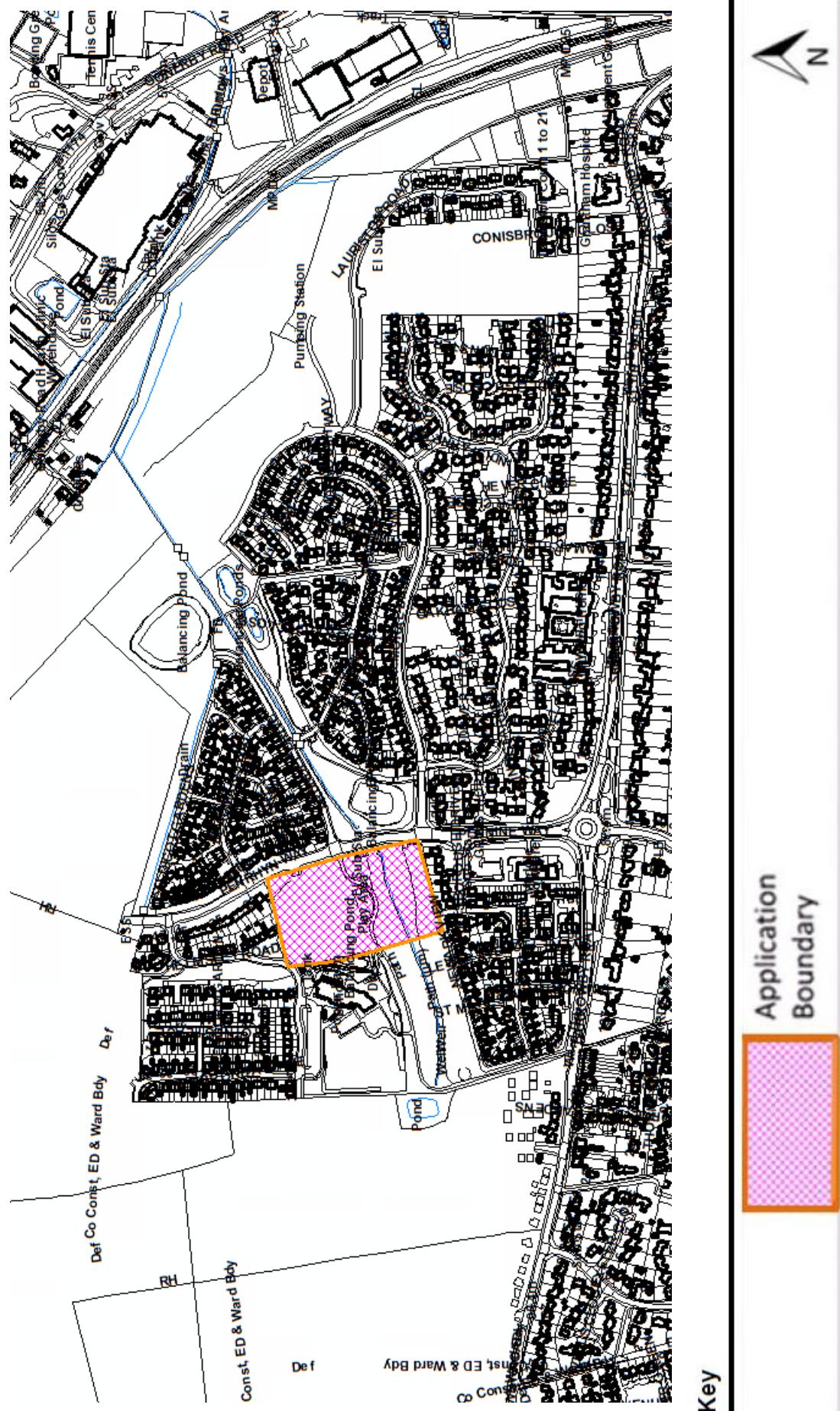
Phil Jordan, Development Management & Enforcement Manager

25 March 2025

## **Recommendation (s) to the decision maker (s)**

To authorise the Assistant Director – Planning & Growth to GRANT reserved matters consent, subject to conditions

S24/1681 – Land to the west of Penrhyn Way, Poplar Farm, Grantham



## **1 Description of the site**

- 1.1 The application site comprises an area of approximately 0.34 hectares (0.84 acres) of irregular shaped land situated to the west of Penryhn Way, situated centrally within the Poplar Farm estate, on the north-western edge of Grantham.
- 1.2 The application site forms part of the proposed Local Centre, which extends to an area of approximately 1.2 hectares (2.85 acres), and is proposed to contain a convenience store (application scheme), medical centre, community centre and day nursery. The wider local centre is a roughly rectangular parcel of land, which rises from east to west by approximately 12 metres and currently sits vacant within the centre of the wider Poplar Farm estate.
- 1.3 Outline planning permission for the Poplar Farm development was granted in June 2011 (LPA Ref: S08/1231) for a proposed “mixed use urban extension comprising up to 1800 dwellings, community facilities (including a primary school, community centre, retail use classes A1, A2, A3 & A5, doctors surgery and elderly person’s accommodation) and associated open space (including new playing fields, facilities and changing rooms, children’s play areas, informal networks of open space and allotments) and a new road and new road bridge to complete the Pennine Way Link”. To date, 672 dwellings have been completed.
- 1.4 The current development site is bound to the east by Pennine Way; to the west by the Poplar Farm Primary School; to the north by existing residential dwellings situated at a higher level; and to the south by the recently completed children’s play area.
- 1.5 The wider Poplar Farm development is bound to the north by the Nottingham – Grantham railway line; to the south by Barrowby Road (A52); and to the west by the Rectory Farm development, allocated for approximately 1,150 dwellings, which benefits from full planning permission for 448 dwellings, and a resolution to grant outline planning permission for a further 400 dwellings.

## **2 Description of the proposal**

- 2.1 The current application seeks approval of reserved matters relating to access, appearance, landscaping, layout and scale for a convenience store (Class E) as part of local centre pursuant to outline planning permission S08/1231.
- 2.2 The current application is the result of positive engagement between the Applicant’s and the Council’s Design PAD service as part of a pre-application submission in 2022, particularly in relation to ensuring that the proposed development scheme provides appropriate hard landscaping and surfacing to ensure that the site is accessible to all users, as well as integrating successfully with the neighbouring Primary School.
- 2.3 The application submission has been accompanied by a Design and Access Statement, Planting Report, Drainage Report, and Proposed Floor Plans, Proposed Elevations, Proposed Site Plans, and Proposed Site Levels Plans, which indicate that the proposed development would consist of the following:
- 2.4 Access to the site is proposed to be taken via the existing, retained vehicular access from Pennine Way, which was implemented as part of the construction of the Pennine Way during the initial stages of the Poplar Farm development. The proposed access is intended to serve the whole Local Centre and will provide access for staff, customers and delivery vehicles. Two additional points of pedestrian access are proposed from Pennine Way to the north and south; and a further pedestrian access point is proposed from the west of site.

2.5 The convenience store is proposed to comprise of a L-shaped structure, orientated east-west, with the primary access to the store positioned on the southern elevation and the back of house / loading area situated to the rear / west elevation. The proposed store is to be set back from Pennine Way by a minimum of 13.8 metres and is set away from the boundary of residential properties to the north by a minimum of 1.48 metres.

2.6 The convenience store is proposed to be a single storey structure measuring approximately 378 sq. metres and consisting of 280 sq. metres of sales space and 98 sq. metre of back-office space and 65 sq. metre covered service yard to the rear. The proposed store will measure approximately 3.6 metres to eaves and 7.6 metres to ridge. The proposed building will be constructed with red brick under a clay pantile and will feature vertical, oil-stained timber cladding to the elevations. The front elevation which provides the entrance to the shop will include a feature canopy constructed with steelwork and timber columns, together with a recessed diamond brick detail. The proposed shopfront windows, doors and rainwater goods are all proposed to utilise powder coated aluminium and include a split brick header detail.

2.7 As referenced above, the current application forms the 1<sup>st</sup> phase of the proposed local centre to serve the Poplar Farm development, as well as the wider North-West Quadrant development, which includes Rectory Farm. As such, the application scheme also includes part of the market square which forms part of the wider local centre proposals. This includes the provision of 21 customer parking spaces including 2 disabled parking spaces, as well as 3 cycle stands which provide options for up to 6 bicycles to be stored.

2.8 The proposed market square is to be surfaced with herringbone parking setts as well as parking areas being delineated by a stretcher laying pattern.

2.9 As detailed above, the application site currently rises substantially from east to west, with a difference of approximately 12 metres. The current application scheme entails the re-grading of the land to allow for level access to the proposed convenience store.

2.10 In respect of landscaping, the area to the east of the store is proposed to provide a soft landscaped buffer from the edge of Pennine Way, including the planting of street trees along the edge of Pennine Way and feature swale. Further planting is proposed within the market square as well as to the west of the store, to assist in breaking up the visual mass of the built form.

### 3 Relevant History

Application Ref	Description of Development	Decision
S08/1231	A mixed use urban extension comprising up to 1800 dwellings, community facilities, (including a primary school, community centre, retail use classes A1, A2, A3 & A5, doctor's surgery and elderly person's accommodation) and associated open space (including new playing fields, facilities and changing rooms, children's play areas, informal networks of open space and allotments) and a new road and a new road bridge to complete the Pennine Way Link	Approved Conditionally 23.06.11
S11/1667	Approval of details required by Condition 3 (Masterplan / Design Code), 4 (School /	Details Approved 18.11.11

	Community Facilities), 5 (Phasing Plan) and 10 (Landscaping) of S08/1231	
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## 4 Policy Considerations

4.1 **South Kesteven Local Plan 2011-2036 (Adopted January 2024)**  
 Policy SD1 – The Principles of Sustainable Development in South Kesteven  
 Policy EN1 – Landscape Character  
 Policy EN2 – Protecting Biodiversity and Geodiversity  
 Policy EN4 – Pollution Control  
 Policy EN5 – Water Environment and Flood Risk Management  
 Policy DE1 – Promoting Good Quality Design  
 Policy SB1 – Sustainable Building  
 Policy ID2 – Transport and Strategic Transport Infrastructure

4.2 **Design Guidelines for Rutland and South Kesteven Supplementary Planning Document (Adopted November 2021)**

4.3 **National Planning Policy Framework (NPPF) (Published December 2024)**  
 Section 2 – Achieving sustainable development.  
 Section 4 – Decision-making  
 Section 9 – Promoting sustainable transport  
 Section 11 – Making effective use of land  
 Section 12 – Achieving well-designed places  
 Section 14 – Meeting the challenge of climate change, flooding and coastal change  
 Section 15 – Conserving and enhancing the natural environment

4.4 **South Kesteven Local Plan Review 2021 – 2041 (Regulation 18 Draft)**

## 5 Representations received

5.1 **Anglian Water**  
 5.1.1 No objections.

5.2 **Grantham Town Council**  
 5.2.1 No objections.  
 5.2.2 The majority of residents are in favour of it as it will make their lives easier with an accessible convenience store, subject to existing speeding and parking issues being addressed.

5.3 **Lincolnshire County Council (Highways and SuDS)**  
 5.3.1 No objections.  
 5.3.2 The access has already been implemented, and adequate parking provision is proposed within the limits of the site. Therefore, it is considered that the proposals would not result in an unacceptable impact on highways safety.

5.4 **Lincolnshire Police Crime Prevention Officer**  
 5.4.1 No comments to make.

5.5 **Lincolnshire Wildlife Trust**  
 5.5.1 No comments received.

5.6 **Network Rail**

5.6.1 No comments to make.

## 5.7 **SKDC Environmental Protection**

5.7.1 No comments to make.

## 5.8 **SKDC Principal Urban Design Officer**

5.8.1 No objections received.

## 6 **Representations as a Result of Publicity**

6.1 The application has been advertised in accordance with the Council's Statement of Community Involvement and letters of representation have been received from 2 interested parties; one of whom has supported the application and one of whom has remained neutral. The material considerations raised within the representations can be summarised as follows:

(1) Compliance with the outline planning permission

- Support the delivery of the convenience store on Poplar Farm

(2) Impact on amenity

- Concerns about an increase in anti-social behaviour.

## 7 **Evaluation**

7.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that the Local Planning Authority (LPA) makes decisions in accordance with the adopted Development Plan, unless material considerations indicate otherwise. The Council adopted the South Kesteven Local Plan 2011-2036 on 30 January 2020, and this forms the Development Plan for the District and is the basis for decision-making for the current application.

7.2 The Local Planning Authority also have an adopted Design Guidelines Supplementary Planning Document (SPD) (Adopted November 2021), and this document is a material consideration in the determination of planning applications.

7.3 The policies and provisions set out in the National Planning Policy Framework (NPPF) ("the Framework") (Published December 2024) are also a relevant material consideration in the determination of planning applications.

7.4 It is also appreciated that the Local Planning Authority are also in the process of conducting a Local Plan Review. The Regulation 18 consultation on the draft Plan was carried out between February and April 2024. At this stage, the policies contained within the draft Plan can be attributed very limited weight in the determination of planning applications. However, the updated evidence base published alongside the Plan Review is a material consideration and must be taken into account in the determination of planning applications.

## 7.5 **Compliance with the Outline Planning Permission**

7.5.1 As referenced above, current application seeks approval of reserved matters relating to access, appearance, landscaping, layout and scale for a convenience store (Class E) as part of local centre pursuant to outline planning permission S08/1231.

7.5.2 Application Ref: S08/1231 was granted in June 2011 and provided outline planning consent for "A mixed use urban extension comprising up to 1800 dwellings, community facilities, (including a primary school, community centre, retail use classes A1, A2, A3 & A5, doctor's

surgery and elderly person's accommodation) and associated open space (including new playing fields, facilities and changing rooms, children's play areas, informal networks of open space and allotments) and a new road and a new road bridge to complete the Pennine Way Link". As such, the current reserved matters application for a convenience store would fall within the description of development permitted by the outline planning permission. Planning conditions are recommended to restrict the use of the unit to the specified use to ensure that the proposed development operates as intended by the outline planning permission.

7.5.3 In addition, Condition 3 of the outline planning permission required the submission of an Illustrative Masterplan and Design Code for the whole Poplar Farm development and requires all future development to accord with the approved documents. Similarly, Condition 4 required the areas of land allocated for the school, community facilities, retail and health uses, together with the Pennine Way road, to be defined in the Masterplan and the development to be carried out in accordance with the plan. Condition 5 of the outline planning permission required the approval of a Phasing Plan for the whole Poplar Farm development, and the approved version of this phasing plan confirms that the local centre must be completed as part of the current phase of the development.

7.5.4 Furthermore, the Section 106 Agreement for the Poplar Farm development requires that land is to be made available for a 405 sq. metre community hall and 800 sq. metre health centre together with financial contributions towards the delivery of these facilities.

7.5.5 In this context, the current application forms the 1<sup>st</sup> phase of the proposed local centre, and further applications will be required for the approval of details of the health centre and community centre secured by the outline planning permission. As such, a key consideration for the current proposal is ensuring that the current application does not prejudice the future delivery of the remaining local centre uses.

7.5.6 In this respect, Officer's have reviewed the submitted scheme and are satisfied that it is in accordance with the requirements of the outline planning permission and would not prejudice the delivery of the remainder of the local centre uses. Consequently, the proposed scheme is acceptable in principle, subject to detailed design considerations.

## 7.6 Impact on the character and appearance of the area

7.6.1 As referenced above, Condition 3 of the outline planning permission required the submission of an Illustrative Masterplan and Design Code for the Poplar Farm development. These documents were approved in November 2011 (LPA Ref: S11/1667) and the approved Design Code states the following in relation to the local centre:

- The street pattern will be based upon a framework that provides logical walking and cycling routes to the Primary School and Community Hub.
- A semi-continuous building line. A formal, high-density square.
- 2.5/3-storey building height.
- High quality materials. Variations of brick and stone which mirror local character, and other materials of high quality architectural and urban design merit. High quality materials for roof tiles based on colours found within the local area of orange, red and dark grey.
- Landscape street trees at select location. High quality street lighting based on simple columns and luminaire.

- The Primary School and Local Centre facilities will establish a focus for the design and create a Main Square and Community Hub.
- Buildings will act as landmark elements and will help to give the development a sense of place and identity. These buildings will provide an opportunity for architectural expression as well as innovative and sustainable design approaches in terms of construction, design and materials.
- Buildings will frame and enclose the Main Square. The Main Square will include a high-quality public realm of paving and street furniture and will be focused on a safe pedestrian friendly environment, with space for social interaction.

7.6.2 The current application has been the result of extensive pre-application engagement between Officers, Consultees and the Applicants through the Council's Design PAD process. This has resulted in a number of improvements being made to the scheme including detailed consideration for the site levels, provision of street trees adjacent to Pennine Way and detailed consideration for a variety of surfacing materials for the main square to create a character and sense of place.

7.6.3 In relation to the above, the Council's Principal Urban Design Officer has been formally consulted on the application scheme, and they have raised no formal objections or concerns.

7.6.4 It is Officer's assessment that the proposed site layout would ensure that the proposed convenience store provides a focal point to the development and appropriately retains key vistas from the high point of the site to the west, whilst providing sufficient space for the delivery of the remaining elements of the Local Centre. The building is orientated to ensure that it provides an attractive frontage towards long distance views along Pennine Way and suitably encloses the proposed square. The position of the building set back from Pennine Way also allows for the provision of street trees, which further enhance the legibility of this principal route through the development.

7.6.5 In respect of the scale and appearance of the building, the single storey nature of the convenience store provides for an appropriate relationship with the residential built form to the north and also allows for continued views across the development site from the west. The proposed footprint is appropriate for a local centre use and allows the building to integrate positively within this part of the site. The proposed building materials are consistent with the requirements of the approved Design Code and, subject to a detailed specification being provided, would ensure a high-quality development. Conditions imposed as part of the outline planning permission require the submission of the detailed materials palette and as such, they are not necessary to repeat as part of this reserved matters consent.

7.6.6 In respect the proposed landscaping details, the submitted Landscaping Plan demonstrates the implementation of a feature open space to the east of the Local Centre, which is to the planting of street trees, which would enhance the sense of approach to the focal space within the Poplar Farm development. Further tree planting is proposed within the main square, which is to form the focal point for the Local Centre, which would assist in breaking up the visual monotony of the proposed parking area and reinforce the principal of the space as a place for gathering rather than principally a parking area.

7.6.7 The proposed loading area to the rear of the site will be bound by a 2.2m brick wall which would provide further enclosure to this functional area of the site. Whilst the proposed hard landscaping is to utilise a variety of street surfacing materials which would further reinforce

the pedestrian priority within the main square and would also add a sense of place and character to the feature spaces. The proposed hard surfacing coupled within the land regrading would ensure that the development is accessible for all and accords with the requirements set out in Building Regulations in relation to level access. Conditions on the outline planning permission secure the compliance with the submitted finished floor levels as well as the implementation of the proposed boundary treatments. However, further conditions are proposed to require compliance with the submitted landscaping details prior to operation of the convenience store, together with an obligation to submit a Landscape Management Plan and subsequent compliance with the LMP.

7.6.8 Taking the above into account, it is Officers assessment that the application proposals would provide an appropriate appearance, layout, landscaping and scale which would ensure that the development positively integrates with the character and appearance of the surrounding built form and would enhance the streetscene. As such, it is Officers position that the application proposals would accord with Policy DE1 of the adopted South Kesteven Local Plan, the adopted Design Guidelines SPD, and Section 12 of the Framework, subject to the imposition of conditions.

## 7.7 Impact on neighbouring amenity

7.7.1 In respect of the impact of the proposed development on neighbouring amenity, it is acknowledged that representations received from members of the public have raised concerns about the potential increase in anti-social behaviour as a result of the proposed local centre.

7.7.2 In relation to this, Condition 32 of the outline planning permission requires the submission of a written scheme of a package of crime prevention measures to be incorporated into the development to be agreed by the Local Planning Authority.

7.7.3 In this respect, the submitted Design and Access Statement outlines the following measures which have been considered as part of the current application:

- Anchoring the convenience store adjacent to the residential properties to the north provides a clear sightline within the public realm and entrances to the private spaces. Visibility from housing to the east provide passive surveillance to the market square and the convenience store site. Further development to the south and west of the convenience store will provide additional natural surveillance of the site.
- Pedestrian routes through the site allow for regular footfall through the site. By encouraging the use of footpaths through and around the site the perception of the site is improved and further bolsters natural surveillance of the site.
- Security measures are proposed to the convenience store to prevent break-in attempts. Bollards are proposed for the perimeter of the convenience store access to offer a visual deterrent to ram-raid break-in attempts. Roller shutters are included to protect the windows and shopfront damage. Service yard gates, high level gabion / brick walls, and steel security doors provide a secure service yard which discourages access to the back of house of the convenience store.

7.7.4 It is Officer's assessment that the above measures would minimise the risk of crime and the fear of crime occurring. Lincolnshire Police Crime Prevention Officer has been consulted on the application and has confirmed that they have no objections.

7.7.5 Furthermore, in assessing the application proposals against the standards set out within the adopted Design Guidelines SPD, it is Officers' assessment that the orientation of the proposed store coupled with the single storey nature of the store and the site levels would ensure that the proposed development would not give rise to any unacceptable impacts on the neighbouring residential properties by way of loss of privacy, overshadowing or outlook.

7.7.6 In respect of the impacts of construction activities on the amenity of existing residential properties, it is appreciated that the application site is located immediately adjacent to the existing dwellings, and therefore, there is the potential for short-term impacts on residential amenity as a result of noise, dust and vehicle movements associated with the construction of the proposed store. As such, conditions are proposed to require the submission of a Construction Management Plan prior to the commencement of development to ensure that these impacts are minimised.

7.7.7 Furthermore, in relation to the impact of the operation of the convenience store on neighbouring amenity, it is appreciated that the loading and unloading of deliveries can be a material source of noise which would impact on the amenity of neighbouring properties. In this respect, it is appreciated that the proposed development includes a covered served yard, which will assist in minimising the level of noise emissions from the site, and the proposed scheme also includes a 2.2 brick wall to the service yard with further tree planting along the northern boundary, which would provide further mitigation. It is also acknowledged that the existing dwellings to the north are situated at a higher level and bound by gabion walls, and outbuildings / garages provide further screening between the dwellings and the proposed convenience store. As such, as a matter of principle, it is Officer's assessment that the relationship between the proposed convenience store and the existing dwellings to the north can positively co-exist. However, it is deemed necessary and reasonable to impose conditions requiring the submission of a Delivery Management Plan prior to the first operation of the store, which will control the hours of delivery and ensure that these do not unacceptably impact on neighbouring amenity.

7.7.8 Similarly, a detailed scheme for the proposed lighting of the local centre and parking areas is to be required by condition prior to first operation of the store, which will ensure that there are no unacceptable impacts from light spillage.

7.7.9 Conditions are also proposed to control the hours of operation of the proposed store to ensure that the use of the store does not give rise to unacceptable noise impacts during nighttime hours.

7.7.10 Taking the above into account, it is Officers' assessment that, subject to the imposition of conditions, that proposed development would not give rise to any unacceptable adverse impacts on neighbouring land uses by virtue of loss of privacy, light or overshadowing and would not have any unacceptable noise or light impacts. Therefore, the proposed development would accord with Policy DE1 of the adopted Local Plan, the Design Guidelines SPD, and Section 12 of the Framework.

## 7.8 **Access, Parking and Highways Impact**

7.8.1 As detailed above, the access to the site is proposed to be taken via the existing, retained vehicular access from Pennine Way, which was implemented as part of the construction of the Pennine Way during the initial stages of the Poplar Farm development. The proposed access is intended to serve the whole Local Centre and will provide access for staff, customers and delivery vehicles. Two additional points of pedestrian access are proposed from Pennine Way to the north and south; and a further pedestrian access point is proposed

from the west of site. The proposed scheme also includes part of the proposed main square parking area, and therefore, includes provision for 21 customer parking spaces, including 2 disabled parking spaces, and a further 6 cycle spaces.

- 7.8.2 Condition 8 of the outline planning permission secures the implementation of the parking areas together with their retention for the lifetime of the development.
- 7.8.3 Furthermore, Condition 25 of the outline planning permission requires the submission of a Travel Plan within 6 months of the commencement of the development, which will ensure that there is adequate public transport serving the proposed local centre and thus encourage the use of non-private vehicles to access the site.
- 7.8.4 Lincolnshire County Council (as Local Highways Authority) have been consulted on the application and have raised no objections. As part of their formal comments they have confirmed that the parking provision proposed is sufficient to serve the requirements of the development.
- 7.8.5 Taking the above into account, it is the Case Officer's assessment that the application proposals would not give rise to any unacceptable adverse impacts on highways safety and / or capacity and provides an appropriate level of parking. As such, the application proposals are assessed as being in accordance with Policy ID2 of the Local Plan and Section 9 of the Framework.

## 7.9 **Flood Risk and Drainage**

- 7.9.1 Condition 17 of the outline planning permission requires all reserved matters to be accompanied by details of the proposed surface and foul water drainage indicating how they will connect into the wider strategic drainage strategy for the Poplar Farm development.
- 7.9.2 The application has been accompanied by a Local Centre Drainage Report (Systra) (Dated May 2024), which outlines the following drainage strategy:
  - The ground conditions on site do not support infiltration as a reliable drainage mechanism. Accordingly, a series of attenuation basins have been provided to hold excess water. The Local Centre will drain via existing sewers to a basin on the northern side of the Running Furrows Drain, previously referred to as Basin 5 in approvals. Basin 5 discharges back into the Running Furrows via a flow control manhole.
  - The foul drainage system for Poplar Farm comprises a conventional sewer network within the development that drains to a sewage pumping facility on the north side of the development. From here foul water is pumped northwards beyond the railway line to discharge into the foul network under Gonerby Road.

- 7.9.3 Lincolnshire County Council (as Lead Local Flood Authority) have been consulted on the application and have raised no objections to the submitted details. Similarly, Anglian Water have been consulted on the details and have raised no objections.
- 7.9.4 Therefore, it is Officers assessment that, subject to the imposition of conditions requiring compliance with the submitted strategy, the application proposals would not give rise to any unacceptable risk of flooding. Consequently, the application would accord with Policy EN5 of the adopted Local Plan and Section 14 of the NPPF.

## 7.10 **Biodiversity and Ecology**

7.10.1 Condition 20 of the outline planning permission requires all reserved matters applications to be accompanied by a Protected Species Survey. The current application submission includes an Ecological Walkover and Habitat Survey (Buckminster Management Ltd) (Dated June 2024), which identifies the following:

- The other neutral grassland present on the site is a common and widespread habitat, that is well represented locally. The example present on site is in moderate condition with a low-moderate value for biodiversity. The closely mown nature of the sward limits the value. The scale of the proposed development will result in the loss of a relatively small area of this habitat, and therefore, it is considered that the proposed development will have a low impact on the other neutral grassland and any associated wildlife present within the site.
- No evidence of protected species was identified at the site.
- It is recommended that any clearance of vegetation suitable for nesting birds is completed outside of the nesting season. Where this is not possible, such works will only commence following a pre-clearance nesting bird check by a qualified ecologist. Should this survey identify any active nests, these will be retained and suitably buffered from disturbance until the young birds have fledged.

7.10.2 In connection with the above, Lincolnshire Wildlife Trust have been consulted on the submitted details and have raised no objections.

7.10.3 Taking the above into account, it is Officers' assessment that the proposed development would not result in any unacceptable ecology impacts, and subject to the imposition of the identified soft landscaping measures would result in an overall biodiversity net gain. As such, the proposed development would be in accordance with Policy EN2 of the adopted South Kesteven Local Plan, and Section 15 of the National Planning Policy Framework.

## **8 Crime and Disorder**

8.1 It is concluded that the proposals would not result in any significant crime and disorder implications.

## **9 Human Rights Implications**

9.1 Article 6 (Rights to fair decision making) and Article 8 (Right to private family life and home) of the Human Rights Act have been taken into account in making this recommendation. It is concluded that no relevant Article of the Act will be breached in making this decision.

## **10 Planning Balance and Conclusions**

10.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires that the Local Planning Authority makes decisions in accordance with the adopted Development Plan, unless material considerations indicate otherwise. In this case, the principle of development for the erection of a convenience store (Use Class E) has been established as part of the outline planning permission. As such, the current application falls to be assessed in the context of the compliance with the conditions and obligations of the outline planning permission, including ensuring that it does not prejudice the future delivery of the remainder of the local centre, as well as the compliance with the adopted Development Plan.

10.2 In this context, it is Officer's assessment that the detailed design and landscaping proposals respond positively to the site's context and the surrounding built form. The proposed convenience store is appropriate for the site context and would not prejudice the future

development of the remainder of the local centre. It is Officer's assessment that the scale and appearance of the development would provide an important focal point for the local centre, and it is appropriately sited to ensure that the development retains key views and adheres to important place-making principles for the local centre delivery. As such, it is Officer's assessment that the proposals would provide an acceptable layout, landscaping, scale and appearance for the development, which would not result in any unacceptable visual impacts, and would make a positive contribution to the streetscene.

- 10.3 Furthermore, subject to the imposition of conditions, it is Officers' assessment that the proposed development would not result in any unacceptable impacts on the amenity of neighbouring land uses.
- 10.4 Taking the above into account, subject to the imposition of appropriate conditions, it is Officers' assessment that the application proposal would accord with the provisions of the outline planning permission, and the adopted Development Plan when taken as whole, and there are no material considerations which indicate that reserved matters consent should be withheld.

## **11 Recommendation**

- 11.1 To authorise the Assistant Director – Planning & Growth to GRANT reserved matters consent, subject to the proposed schedule of conditions detailed below.

## **Schedule of Condition(s)**

### **Approved Plans**

- 1) The development hereby permitted shall be carried out in accordance with the following list of approved plans:
  - a. Site Location Plan (Ref: J2138/001/01/Rev A)
  - b. Proposed Block Plan (Ref: J2138/001/03/Rev A)
  - c. Proposed Site Layout Plan (Ref: J2138/001/04/Rev A)
  - d. Proposed Ground Floor and Roof Plan (Ref: J2138/001/06/Rev B)
  - e. Proposed Elevation Plan (Ref: J2138/001/07/Rev A)
  - f. Proposed Colour Elevation Plan (Ref: J2138/001/08/Rev A)
  - g. Proposed Boundary Treatment Plan (Ref: J2138/001/09/Rev A)
  - h. Existing and Proposed Section Plan (Ref: J2138/001/05/Rev A)
  - i. Proposed Planting Plan (Ref: SL0490/02)

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

### **Before the Development is Commenced**

#### *Residential Amenity*

#### Construction Management Plan

- 2) No works pursuant to this permission, including demolition of buildings hereby permitted, until a Construction and Environmental Management Plan has been submitted to and approved in writing by the Local Planning Authority. The submitted Plan and Statement shall include measures to mitigate the adverse impacts of noise, dust and vehicular movements during the construction stages of the permitted development. The submitted document shall include:
  - a. The phasing of the development
  - b. Construction and delivery hours
  - c. The parking of all vehicles of site operatives and visitors
  - d. The on-site loading and unloading of all plant and materials.
  - e. The on-site storage of all plant and materials used in constructing the development.
  - f. The routing of all vehicles associated with the demolition and construction activities of the development.
  - g. Wheel washing facilities
  - h. A strategy stating how surface water runoff on and from the development will be managed during construction, and protection measures for any sustainable drainage features. This should include drawing(s) showing how the drainage systems

(temporary or permanent) connect to an outfall (temporary or permanent) during construction.

- i. Ecological Management Plan, including appointment of an Ecological Clerk of Works, and the implementation of Natural England licences as required.

The Construction Management Plan shall be strictly adhered to throughout the construction period.

Reason: To minimise the effects of the demolition and construction activities on the residential amenity of neighbouring properties and the public highway and protected species.

### **Before the Development is Operational**

#### *Design Quality and Visual Impact*

#### Landscaping Implementation

- 3) Before the store hereby permitted is first brought into use, all hard and soft landscaping as shown on the approved plans shall have been completed in accordance with the approved details.

Reason: To ensure a satisfactory appearance to the development in accordance with Policy DE1 (Promoting Good Quality Design) of the adopted South Kesteven Local Plan.

#### Landscape and Ecological Management Plan

- 4) Before the store hereby permitted is first brought into use, a Landscape and Ecological Management Plan shall have been submitted to and approved in writing by the Local Planning Authority. The plan shall include:
  - a. Long term design objectives
  - b. Management responsibilities
  - c. Maintenance schedules for all landscaped areas

Thereafter, the development shall be operated and maintained in accordance with the approved Landscape and Ecological Management Plan.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscaping in accordance with the approved designs; and in accordance with Policy DE1 of the adopted Local Plan.

#### *Amenity*

#### Delivery Management Plan

- 5) Before the store hereby permitted is first brought into use, a Delivery Management Plan shall be submitted to and approved in writing by the Local Planning Authority. The submitted plan shall include:
  - Delivery hours
  - Measures to reduce noise impacts during the arrival of delivery vehicles.
  - Measures to reduce noise impacts during loading and unloading of delivery vehicles.
  - Measures to reduce noise impacts during the departure of delivery vehicles.

Thereafter, the development shall be operated in accordance with the approved Delivery Management Plan for the lifetime of the development, unless otherwise approved in writing by the Local Planning Authority.

Reason: To ensure that the proposed development does not have unacceptable adverse impact on neighbouring amenity in accordance with Policy DE1 and Policy EN4 of the adopted South Kesteven Local Plan.

### Lighting Scheme

- 6) Prior to the store being brought into use, details of external lighting, together with times of illumination shall be submitted to and approved in writing by the Local Planning Authority. Once approved the lighting shall be installed and managed in accordance with the approved details unless otherwise agreed in writing by the Local Planning Authority.

Reason: To protect the amenities of the locality and comply with Policy DE1 Adopted South Kesteven Local Plan 2011-2036 and comply with the aims and objectives of the NPPF.

### *Flood Risk and Drainage*

#### Drainage Strategy Implementation

- 7) Before the development hereby permitted is first operational, the surface and foul water drainage strategy shall have been completed in accordance with the details shown on the approved plan (Ref: 24B38-DWG-DR-01/P1), unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the development does not give rise to an unacceptable flood risk as required by Policy EN5 of the adopted South Kesteven Local Plan.

### **Ongoing Conditions**

#### *Principle of Development*

#### Change of Use

- 8) Notwithstanding the provisions of Schedule 2 Part 3 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking or re-enacting that Order with or without modification, the premises shall only be used for the purposes specified below and for no other purpose, including any other purposes in Class E of the schedule to the Town and Country Planning (Use Classes) Order 1987 (as amended), unless planning permission for a new use of the premises have been granted by the Local Planning Authority.
  - Convenience store (Use Class E(a))

Reason: The use of the premises for any other purpose at this location could result in impacts that would require further assessment by the Local Planning Authority, and may result in conflicts with the outline planning permission.

### *Design Quality and Visual Impact*

#### Landscape Protection

- 9) Within a period of five years from the store being brought into use, any trees or plants provided as part of the approved soft landscaping scheme that die or become, in the opinion

of the Local Planning Authority, seriously damaged or defective, shall be replaced in the first planting seasons following any such loss with a specimen of the same size and species, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the provision, establishment and maintenance of a reasonable standard of landscaping in accordance with the approved designs; and in accordance with Policy DE1 of the adopted Local Plan.

*Amenity*

Operational Hours

10) The operational hours of the proposed convenience store hereby permitted shall be limited to the following hours:

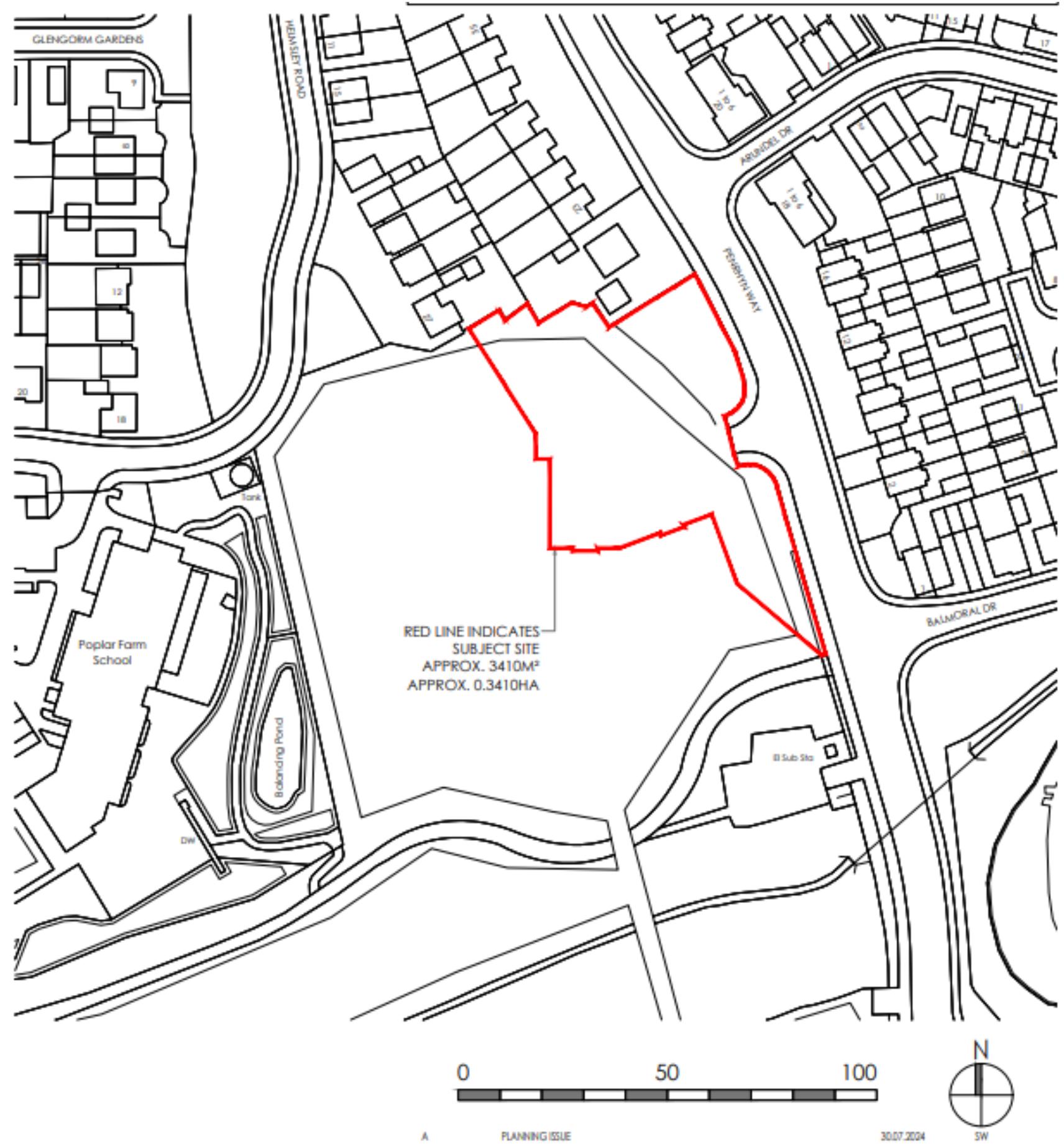
0700-22:30 hours Monday to Sunday (including public holidays).

Reason: To protect the amenity of neighbouring land uses.

## **Standard Note(s) to Applicant**

- 1) In reaching the decision, the Council has worked with the applicant in a positive and proactive manner by determining the application without undue delay. As such it is considered that the decision is in accordance with Paragraph 38 of the National Planning Policy Framework (2024).
- 2) Notwithstanding the submitted details, the Applicant is reminded that a further application will be required for the approval of details secured by Condition 16 (Materials) and Condition 25 (Travel Plan) of the outline planning application ref: S08/1231.

## Site Location Plan



## Proposed Site Layout



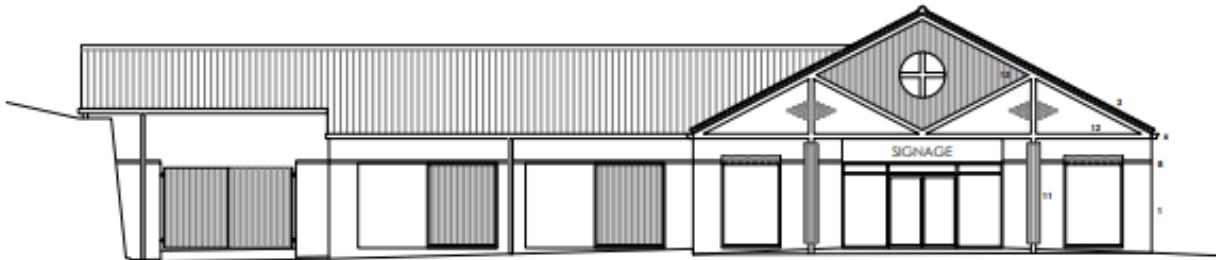
## Proposed Elevations

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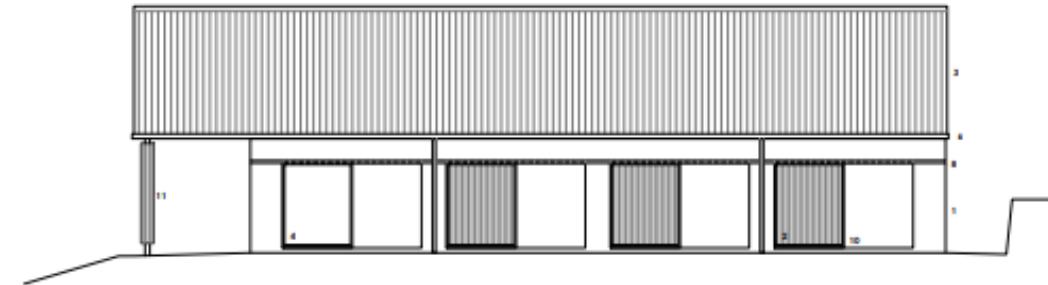
### MATERIALS

- 1. WALLS
- 2. WALLS
- 3. DOORS
- 4. WINDOWS
- 5. SHOPFRONT
- 6. RAINFOREST GLAZED
- 7. RAINFOREST GLAZED
- 8. BAND DETAIL
- 9. FEATURE BRICK DETAIL
- 10. RAINFOREST GLAZED
- 11. COLUMN DETAIL
- 12. FEATURE CANOPY REED
- 13. CANOPY TIMBER SLATS
- 14. STEEL DOOR
- 15. POWDER COATED ALUMINIUM, COLOUR GREY
- 16. TIMBER CLADDING, OIL STAINED
- 17. DOORS
- 18. POWDER COATED ALUMINIUM, COLOUR GREY
- 19. POWDER COATED ALUMINIUM, COLOUR GREY
- 20. POWDER COATED ALUMINIUM, COLOUR GREY
- 21. INSETTED BRICK COURSE
- 22. INSETTED BRICKWORK, DIAMOND DETAIL
- 23. INSETTED GLAZED PANEL
- 24. PROFILED TIMBER CLAD COLUMN
- 25. STEELWORK, COLOUR GREY
- 26. TIMBER SLATS, OIL STAINED
- 27. POWDER COATED ALUMINIUM, COLOUR GREY

NOTE: ALL SIGNAGE SUBJECT TO SEPARATE PLANNING APPLICATION



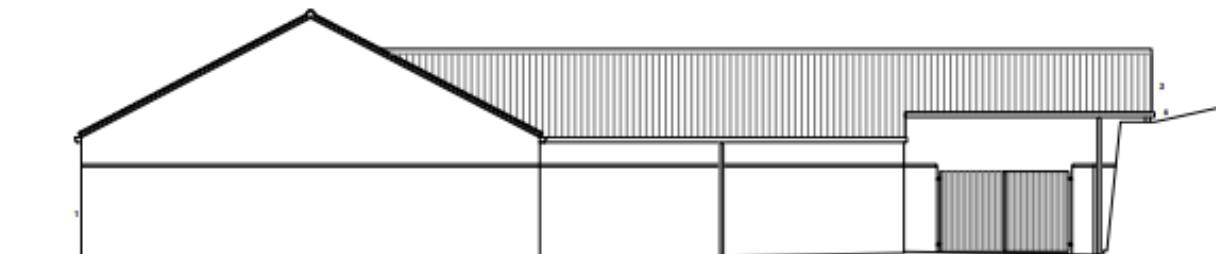
FRONT ELEVATION



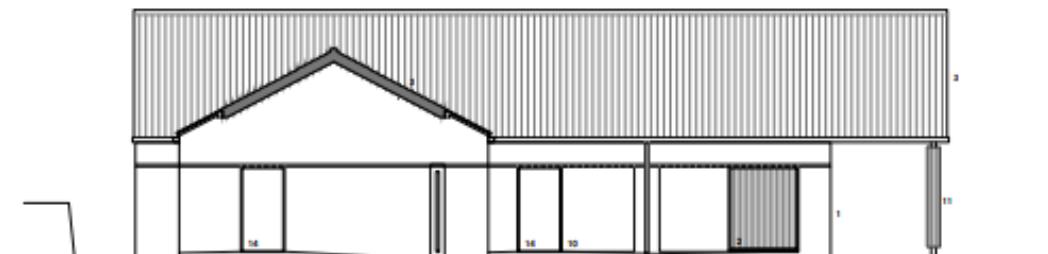
SIDE ELEVATION



FRONT ELEVATION (BEHIND CANOPY)



REAR ELEVATION



SIDE ELEVATION

0 5 10

PLANNING SITE			
Ref:	Decision Date:	Date:	Entered By:
PROPOSED DEVELOPMENT AT POPLAR FARM LOCAL CENTRE, GRANTHAM			
Submitted by:	Issue:	Date:	Entered:
Framework Architects	PLANNING	10/02/24	10/02/24
PROPOSED SERVICES			
Drawing No: 12138 001/07 Rev: A			

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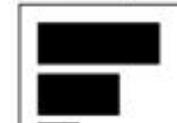


FRONT ELEVATION

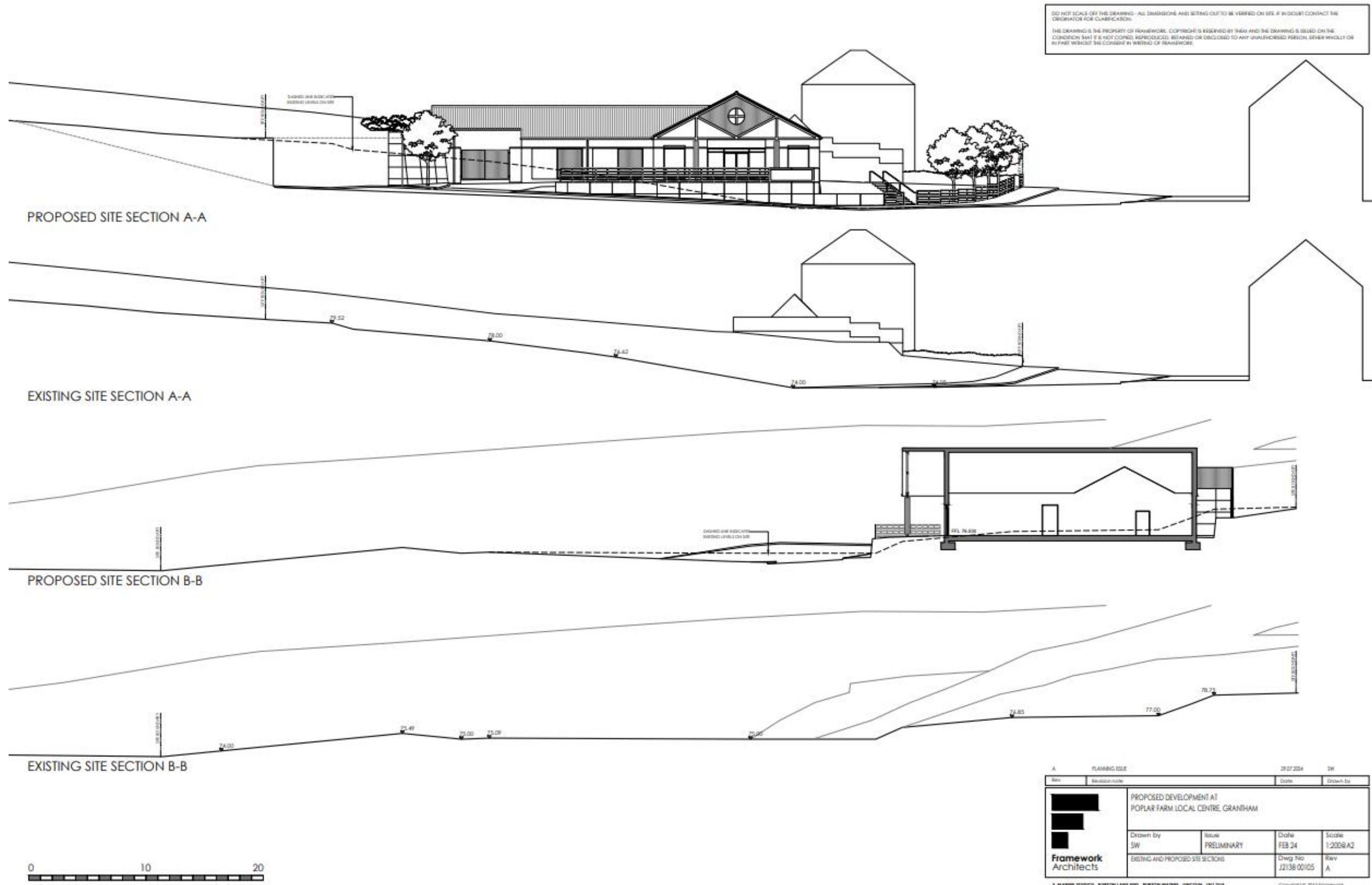


SIDE ELEVATION

0 5 10

A PLANNING ISSUE		30.07.2024	SW
Rev	Revision note	Date	Drawn by
	PROPOSED DEVELOPMENT AT, POPLAR FARM LOCAL CENTRE, GRANTHAM		
	Drawn by SW	Issue PRELIMINARY	Date FEB 24
	PROPOSED COLOUR ELEVATIONS		Scale 1:100 AT A3
	Dwg No J2138 00108		Rev A

## Existing and Proposed Site Levels





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SOUTH  
KESTEVEN  
DISTRICT  
COUNCIL



## Planning Committee

3 April 2025

## S24/2106

Proposal:	Installation of Air Source Heat Pumps and evaporator decks and erection of timber fencing enclosure to rear of the main leisure centre building
Location:	Grantham Meres Leisure Centre, Trent Road, Grantham, NG31 7XQ
Applicant:	South Kesteven District Council
Agent:	Leisure Energy Technology Centre, Walter Nash Road West, Kidderminster, DY11 7HJ
Application Type:	Full Planning Permission
Reason for Referral to Committee:	South Kesteven District Council are the applicant
Key Issues:	Design and external appearance Impacts on residential occupiers Biodiversity Net Gain
Technical Documents:	

### Report Author

Miranda Beavers – Senior Development Management Planner

01476 406302

Miranda.beavers@southkesteven.gov.uk

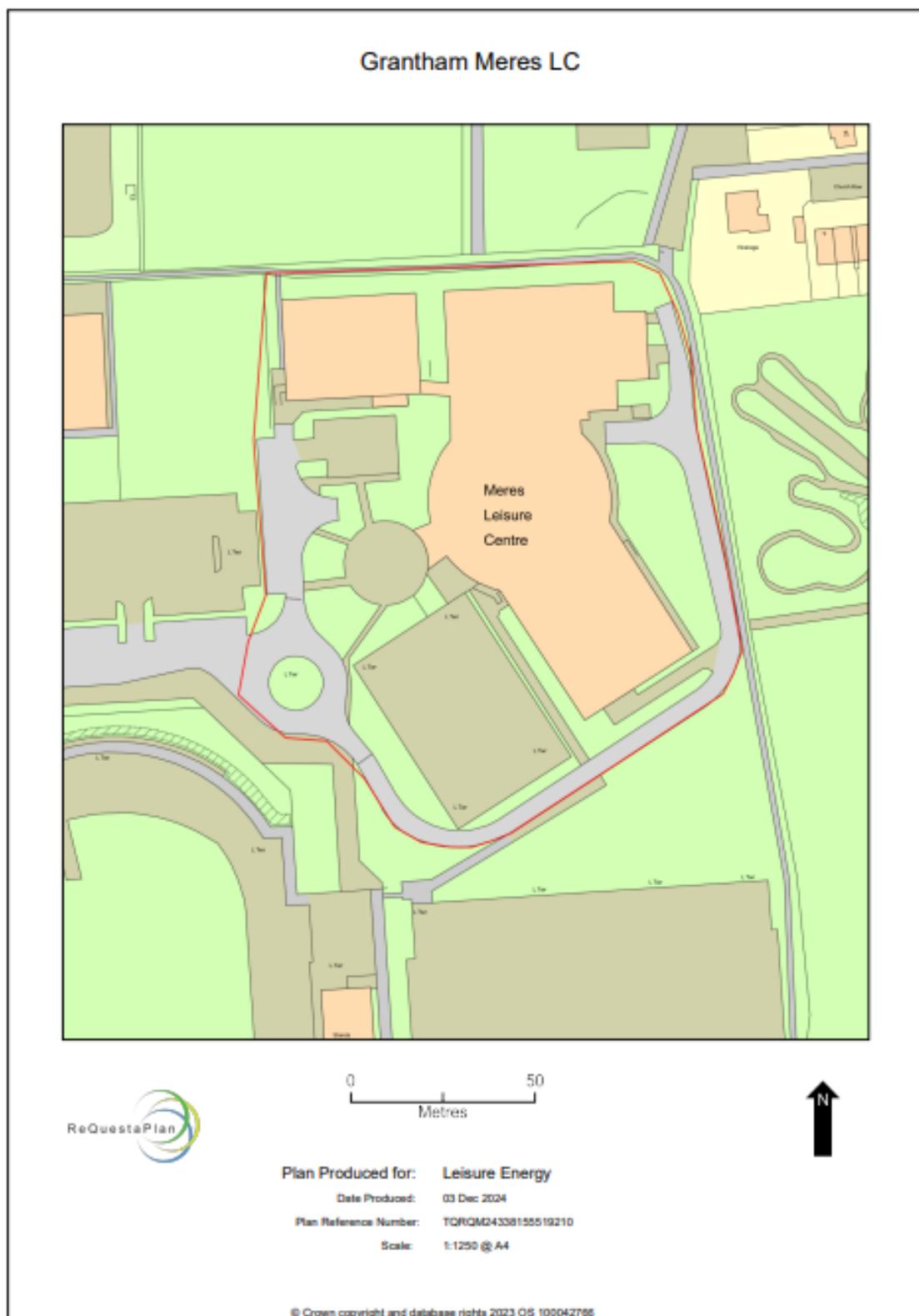
Corporate Priority:	Decision type:	Wards:
Growth	Regulatory	Grantham Earlesfield

Reviewed by: Adam Murray – Principal Development Management Planner

25 March 2025

### Recommendation (s) to the decision maker (s)

To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to conditions



## **1 Description of Site**

1.1 The application site is the Grantham Meres Leisure Centre and Sports Complex located on the east side of Trent Road, Grantham. It is proposed to locate the Air Source Heat Pump (ASHP) and associated housing and screening on an area of land that comprises grassland and hardstanding to the east of the main building.

## **2 Description of Proposal**

2.1 The application is for full planning permission for the installation of Air Source Heat Pumps and evaporator decks. The proposal includes an Air Source Heat Pump box/cover which would be surrounded by a timber fence enclosure. The built-form, comprising 3 x evaporators and 1 x net zero pod would cover an area measuring approximately 15.5m wide by 5.2m deep (80.6sqm) and would be surrounded by a timber fenced enclosure.

## **3 Policy Considerations**

### **3.1 SKDC Local Plan 2011 – 2036**

Policy SD1 'The Principles of Sustainable Development in South Kesteven'

Policy DE1 'Promoting Good Design'

Policy EN2 'Protecting Biodiversity and Geodiversity'

Policy RE1 'Renewable Energy Generation'

### **3.2 National Planning Policy Framework (NPPF)**

Chapter 2 'Achieving sustainable development'

Chapter 12 'Achieving well-designed places'

Chapter 14 'Meeting the challenge of climate change, flooding and coastal change'

### **3.3 Supplementary Planning Document:**

Design Guidelines for Rutland and South Kesteven (November 2021)

## **4 Representations received**

### **4.1 LCC Highways & SuDS**

4.1.1 Having given due regard to the appropriate local and national planning policy guidance (in particular the National Planning Policy Framework), Lincolnshire County Council (as Highway Authority and Lead Local Flood Authority) has concluded that the proposed development is acceptable and accordingly, does not wish to object to this planning application.

### **4.2 Grantham Town Council**

4.2.1 No comments.

### **4.3 Cadent Gas**

4.4 No objection as the High pressure gas pipelines in the area would not be affected by the application.

#### 4.5 **Lincolnshire Wildlife Trust**

4.6 Lincolnshire Wildlife Trust wishes to place a HOLDING OBJECTION pending the inclusion of plans to achieve the mandatory 10% Biodiversity Net Gain (BNG). The BNG Metric submitted with this application shows a projected overall biodiversity loss of 2.87%, falling outside of BNG regulations that state that developments must achieve a minimum of 10% net gain.

We understand that planning permission can be granted with conditional BNG, but it would be our recommendation that BNG should be integrated into the design of the site. Consideration of how the biodiversity will be created, enhanced, managed and monitored - for a minimum of 30 years – is more effective when it is a part of the design process.

#### 4.7 **Environmental Protection**

##### 4.7.1 No comments received

### **5 Representations as a Result of Publicity**

5.1 This application has been advertised in accordance with the Council's Statement of Community Involvement and no letters of representation have been received.

### **6 Evaluation**

6.1.1 The proposal relates to the installation of an Air Source Heat Pump and evaporator decks and associated equipment as a means of generating energy for the public leisure centre. This proposal is considered to be acceptable in principle and in accordance with Policy SD1 (Principles of Sustainable Development in South Kesteven) of the adopted Local Plan subject to assessment against site specific criteria. These include the impact of the proposal on the character or appearance of the area, impact on the residential amenities of neighbouring occupiers, and impact on highway safety, which are discussed in turn as follows.

#### 6.2 **Impact on the character and appearance of the area**

6.2.1 The proposed pump and its housing would be located to the rear (east) of the leisure centre complex and would not be readily visible from public car park at the front of the building, however it would be visible to users of the public footpath that runs along the eastern edge of the leisure centre. Despite its visibility from the public footpath, the scale of the ASHP and its housing, combined with the fenced, screened area, is considered to be modest, particularly when compared to the size of the host building. It is the Officers assessment that the structure would not appear out of keeping given the context of the site. Considering the size of the site, its existing character and the modest scale of the proposal it is considered that the proposal would be in keeping with the host building, the streetscene and surrounding context in accordance with the NPPF Section 12, and Policy DE1 of the Local Plan.

#### 6.3 **Impact on the neighbours' residential amenities**

6.3.1 No neighbour objections/concerns have been raised to date.

6.3.2 No objections were raised by the environmental protection team to the proposed installation and given the separation distances between the equipment and the nearest residential property, it is considered that on the basis of the information provided, that the pumps would not result in unacceptable levels of noise nuisance to neighbouring occupiers and the

proposal would be in accordance with the NPPF Section 12, and Policy DE1 of the Local Plan.

#### **6.4 Biodiversity Net Gain**

6.5 The site does not lie within a Site of Special Scientific Interest (SSSI) or Special Area for Conservation (SAC). The applicants have submitted an BNG small sites metric. The baseline habit value of the site is stated to be 4.08 of area-based habitat units within the proposed development resulting in -2.8% area-based net loss.

6.6 Thus, the project is not considered to meet the legal obligation to achieve a minimum of 10% Biodiversity Net Gain in England and Lincolnshire Wildlife Trust have objected on this basis. Notwithstanding this, it is considered that should the proposal be recommended for approval, an appropriately worded condition would be included in order to secure on-site BNG. Consideration should be given first to the creation, enhancement, management and monitoring of on-site enhancement or failing that on land that is within the ownership of the applicant, before off-site BNG is considered.

6.7 Whilst a BNG Assessment has been submitted to accompany the application, a further BNG Plan is required to be submitted prior to the commencement of the developments per paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990, in order discharge the deemed condition. The plan must be submitted in writing, no earlier than the day after planning permission has been granted. The statutory framework for biodiversity net gain requires a Biodiversity Gain Plan to be submitted and approved by the planning authority to discharge the biodiversity gain condition prior to the commencement of development.

6.8 Consequently, subject to the appropriate deemed condition, it is considered that the proposed development would be acceptable and in accordance with Policies EN2 of the SKLP and Section 15 of the NPPF.

### **7 Crime and Disorder**

7.1 It is considered that the proposal would not result in any significant crime and disorder implications.

### **8 Human Rights Implications**

8.1 Articles 6 (Rights to fair decision making) and Article 8 (Right to private family life and home) of the Human Rights Act have been taken into account in making this recommendation. It is considered that no relevant Article of that act will be breached.

### **9 Conclusion**

9.1 The Local Planning Authority considers that the proposal is appropriate for its context and is in accordance with the NPPF (Sections 2, 12 and 14) and Policies SD1, DE1, EN2 and RE1 of the South Kesteven Local Plan. There are no material considerations that indicate otherwise although conditions have been attached.

### **10 Recommendation**

To authorise the Assistant Director – Planning & Growth to GRANT planning permission, subject to conditions.

### Time Limit for Commencement

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: In order that the development is commenced in a timely manner, as set out in Section 91 of the Town and Country Planning Act 1990 (as amended).

### Approved Plans

2. The development hereby permitted shall be carried out in accordance with the following list of approved plans:

Site Location Plan received 12 February 2025

Drawing No.PLO7 Rev P01 External Pod Location

Drawing No.E.2100 Rev P01External Site Services

Unless otherwise required by another condition of this permission.

Reason: To define the permission and for the avoidance of doubt.

### During Building Works

3. Before any of the works on the external elevations for the building(s) hereby permitted are begun, samples of the materials (including colour of any render, paintwork or colourwash) to be used in the construction of the external surfaces shall have been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### Before the Building is Occupied

4. Before any part of the development hereby permitted is occupied/brought into use, the external surfaces shall have been completed in accordance with the approved details.

Reason: To ensure a satisfactory appearance to the development and in accordance with Policy DE1 of the adopted South Kesteven Local Plan.

### Informatics

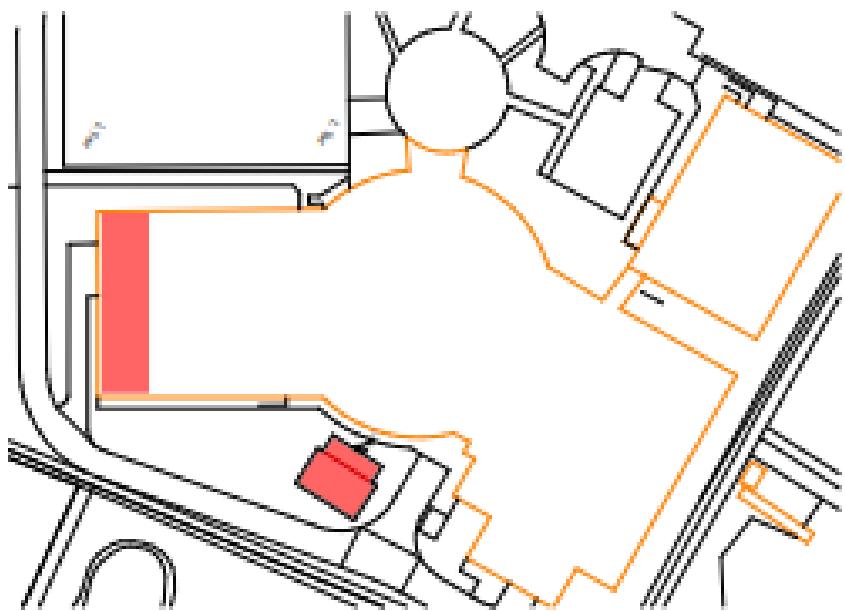
- 1) The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 is that planning permission granted for the development of land in England is deemed to have been granted subject to the condition "(the biodiversity gain condition") that development may not begin unless:
  - (a) a Biodiversity Gain Plan has been submitted to the planning authority, and
  - (b) the planning authority has approved the plan.

The planning authority, for the purposes of determining whether to approve a Biodiversity Gain Plan if one is required in respect of this permission would be South Kesteven District Council.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are listed below.

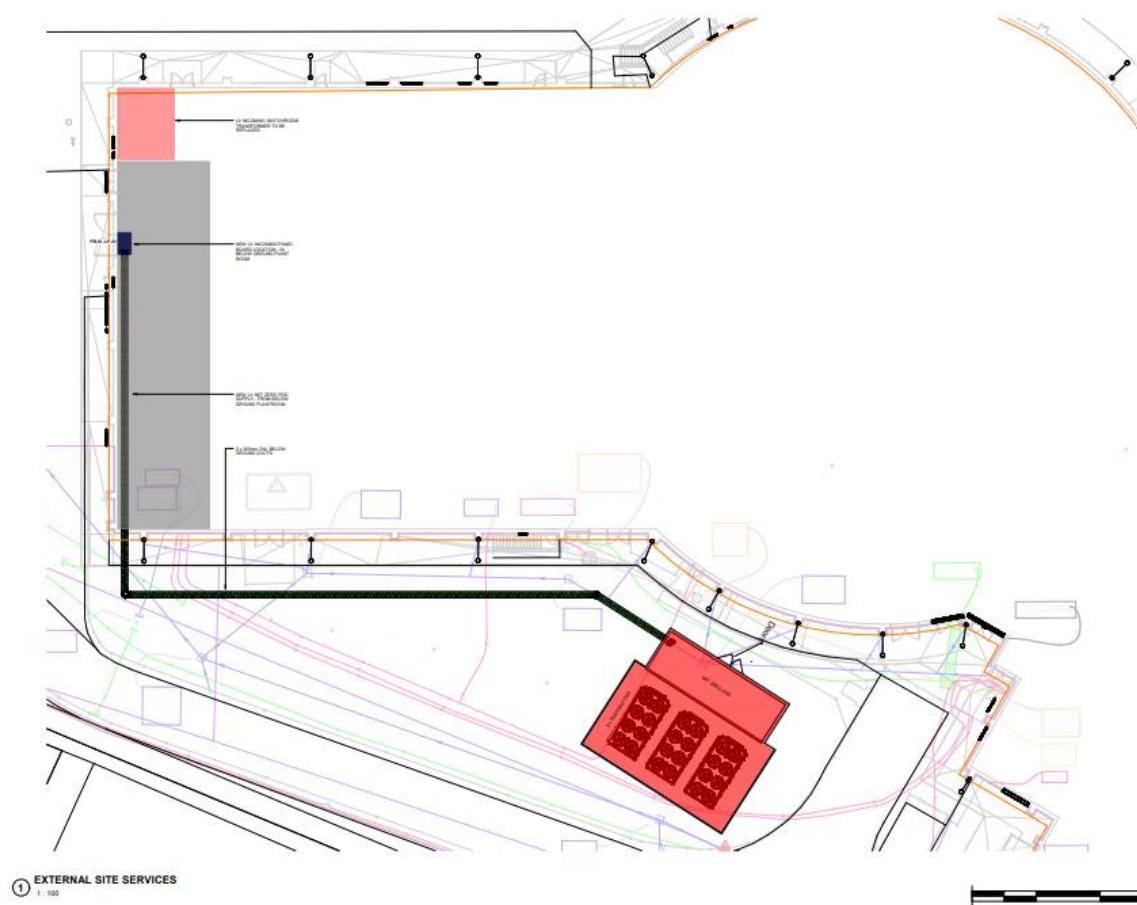
Based on the information available this permission is considered to be one which will require the approval of a biodiversity gain plan before development is begun because none of the statutory exemptions or transitional arrangements listed are considered to apply.

## Proposed Site Plan



② KEYPLAN  
1 : 1000

## Proposed Block Plan



## Proposed Elevation

